

GENERAL NOTES:

- OWNER OF RECORD
CC RAILROAD STREET NEWMARKET LLC
P.O. BOX 571
GREENLAND, NH 03840
- THE INTENT OF THIS PLAN IS TO SHOW A BOUNDARY LINE ADJUSTMENT ON PARCELS U4-16A AND U3-138A.
- THE BEARINGS SHOWN ON THIS PLAN REFER TO GRID NORTH, NH STATE PLANE (NAD83), BASED ON A RTK GPS OBSERVATION TAKEN WITH A LEICA GS-16 ON 11/06/19. DISTANCE SHOWN ARE GROUND DISTANCES.
- THE STATE OF NEW HAMPSHIRE HAS AN EASEMENT WITH A WIDTH OF FORTY NINE AND A HALF FEET (49.5') ON EITHER SIDE OF THE BASELINE OF THE WESTERN PORTLAND BRANCH LINE. SEE THE RETURN OF LAYOUT, THE BOSTON AND MAINE CORPORATION TO THE STATE OF NEW HAMPSHIRE, OFFICE OF THE SECRETARY OF STATE, DATED NOVEMBER 9TH, 1891. SEE VOLUME 4, PAGES 177 THROUGH 179 AT THE STATE OF NEW HAMPSHIRE ARCHIVES.
- PARCELS U4-16 & U3-138A LIE WITHIN ZONE M-2A. A PORTION OF PARCEL U4-16 IS IN ZONE R2.
- MINIMUM LOT SIZE: ZONE M-2A (0.25 ACRES), ZONE R2 (0.5 ACRES)
- MINIMUM FRONTAGE: ZONE M-2A (50 FEET), ZONE R2 (100 FEET)
- BUILDING SETBACKS:
ZONE M-2A: FY. = 5', SY. = 10', RY. = 10' MFY: = 10'
ZONE R2: FY. = 25', SY. = 15', RY. = 15' MFY: = N/A
- LOTS U4-16 & U3-138A ARE SERVICED BY THE MUNICIPAL WATER AND SEWER SYSTEM.
- LOTS U3-138A & U4-16 DO NOT LIE WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP DATED 05/17/2005 COMMUNITY PANEL 33015C0230E

REFERENCE PLANS:

- "LAND IN NEWMARKET, N.H., ROBERT W. MESERVE ET AL., TRUSTEES OF THE PROPERTY OF THE BOSTON AND MAINE CORPORATION, TO ROBERT H. FILLION" PLAN R2-55-6 DATED: MAY 1974 BY DAVID W. SIDMORE. ON FILE AT NORWAY PLAINS ASSOCIATES, INC.
- "LAND IN NEWMARKET, N.H., BOSTON AND MAINE RAILROAD TO EDGAR MOISAN" PLAN R2-55-5 DATED: FEBRUARY, 1958 BY THE ENGINEER OF DESIGN ON FILE AT NORWAY PLAINS ASSOCIATES, INC.
- "LAND IN NEWMARKET, N.H., BOSTON AND MAINE RAILROAD TO PALPH H. HAINES" PLAN R2-55-2 DATED: APRIL 1940 BY THE ASSISTANT CHIEF ENGINEER ON FILE AT NORWAY PLAINS ASSOCIATES, INC.
- "LAND IN NEWMARKET, N.H., BOSTON AND MAINE RAILROAD TO WILLIAM J. O'CONNOR" PLAN R2-55-1 DATED: JUNE 1925 BY E.W. CHAPMAN, REAL ESTATE ENGINEER ON FILE AT NORWAY PLAINS ASSOCIATES, INC.
- "LAND IN NEWMARKET, N.H., BOSTON AND MAINE RAILROAD TO ROCKINGHAM COUNTY GAS COMPANY" PLAN R2-56-2, DATED: SEPTEMBER 1963 BY J.F. KERN ASSISTANT CHIEF ENGINEER, ON FILE AT NORWAY PLAINS ASSOCIATES, INC.
- "RIGHT OF WAY - PROPOSED BRIDGE AT LAND OF JOSEPH A ROY, NEWMARKET, N.H." DATED FEBRUARY 1909 BY H. BISSELL, CHIEF ENGINEER FOR B&M RR RCRD PLAN 00483
- "PLAN OF LAND OF MRS MARY TROTTER, NEWMARKET, N.H." DATED DECEMBER 1960 BY T.W. CHELSEY ENGINEERING CO. PLAN NO. 1299 ON FILE AT THE STATE OF NEW HAMPSHIRE ARCHIVES & NORWAY PLAINS ASSOCIATES, INC.
- "FOR RECORDING ONLY PLAN IN NEWMARKET, NH, TAX MAP U3, LOTS 139A & 440, EXETER STREET (RTE 108) & GERRY AVENUE. OWNED BY: GREAT BAY ENTERPRISES, 44 EXETER STREET, NEWMARKET, NH 03857 DATED SEPTEMBER 1994 BY GERALD H. MILLER, NHLS 665. RCRD PLAN D-23250

- "TRANSFER OF LAND PLAN IN NEWMARKET, NH FROM TAX MAP U3 LOT 138-1 OWNED BY: BOSTON & MAINE CORPORATION, IRON HORSE PARK, NORTH BILLERICA, MA 01862 TO TAX MAP U3, LOT 139A, OWNED BY: GREAT BAY ENTERPRISES, 44 EXETER STREET, NEWMARKET, NH 03857 PLAN R2-55-7 DATED: NOVEMBER 1, 1993 BY: GERALD H. MILLER, NHLS 665. RCRD PLAN D-22565
- "FINAL PLAN, BI-STATE BUILDERS INC., BASCOM PROPERTY, NEWMARKET, N.H." DATED: MARCH 1985 BY G.L. DAVIS & ASSOCIATES. RCRD PLAN C-13877
- "LOT CONSOLIDATION AND AMENDED CONDOMINIUM SITE & FLOOR PLAN OF NEWMARKET BUSINESS PARK CONDOMINIUM, FOR CHENEY PROPERTY MANAGEMENT CORP., WRIGHT OFFICE MANAGEMENT LLC, AND WENTWORTH-DOUGLAS HOSPITAL, EXETER ROAD (NH ROUTE 108), NEWMARKET, NEW HAMPSHIRE." DATED: DEC 21, 2015 BY: DOUCET SURVEY, INC. RCRD PLAN D-39568
- THE SANBORN FIRE INSURANCE MAPS FOR NEWMARKET, ROCKINGHAM COUNTY, NEW HAMPSHIRE DATED JANUARY 1898, AND AUGUST 1892 BY: THE SANBORN MAP COMPANY. ON FILE AT THE LIBRARY OF CONGRESS AND AT NORWAY PLAINS ASSOCIATES, INC.
- "RIGHT-OF-WAY AND TRACK MAP, BOSTON AND MAINE R.R., OPERATED BY THE BOSTON AND MAINE R.R., STATION 2968+20 TO STATION 3021+00" DATED: JUNE 30, 1914 BY: THE OFFICE OF VALUATION ENGINEER, V2NH-55" ONFILE AT NORWAY PLAINS ASSOCIATES, INC.
- "RIGHT-OF-WAY AND TRACK MAP, BOSTON AND MAINE R.R., OPERATED BY THE BOSTON AND MAINE R.R., STATION 3021+00 TO STATION 3073+80" DATED: JUNE 30, 1914 BY: THE OFFICE OF VALUATION ENGINEER, BOSTON, MASS. V2NH-56" ONFILE AT NORWAY PLAINS ASSOCIATES, INC.
- "THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION PLANS OF PROPOSED BRIDGE REHABILITATION PROJECT, NH PROJECT 11084, NH RTE 152 OVER BOSTON & MAINE RAILROAD" DATED: MARCH 22, 1993 BY: NHDOT. ON FILE AT NHDOT AND NORWAY PLAINS ASSOCIATES, INC.
- "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT, NO. FG 272(4), NEW HAMPSHIRE COLLEGE WAY." DATED: OCTOBER 28, 1949 BY: THE NH HIGHWAY DEPARTMENT. NH PROJECT NO. P-1817. ON FILE AT NHDOT AND NORWAY PLAINS ASSOCIATES, INC.

REFERENCE DOCUMENTS:
(ALL ON FILE AT NORWAY PLAINS ASSOCIATES, INC.)

- STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, FIELD BOOK NUMBER 12226, PAGES 66-78, DATED APRIL THROUGH OCTOBER, 1993.
- STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, FIELD BOOK NUMBER 12524, PAGES 75-77, DATED NOVEMBER, 1993.
- AN UNRECORDED DEED FROM ROBERT H. FILLION TO NEW ENGLAND BARRICADE CORP, FOR THE BUILDING ONLY, LOCATED ON MAP U3, LOT 138A
- FINAL HORIZONTAL ALIGNMENT REPORTS FOR ROUTE 152, RAILROAD STREET, AND BEECH STREET EXTENSION, PROVIDED BY NHDOT. (FALIGN MA01, MA02, & MA03.)
- RETURN OF LAYOUT FROM THE BOSTON AND MAINE CORPORATION TO THE SECRETARY OF THE STATE OF NEW HAMPSHIRE. NH ARCHIVES VOLUME 4, PAGE 177-179

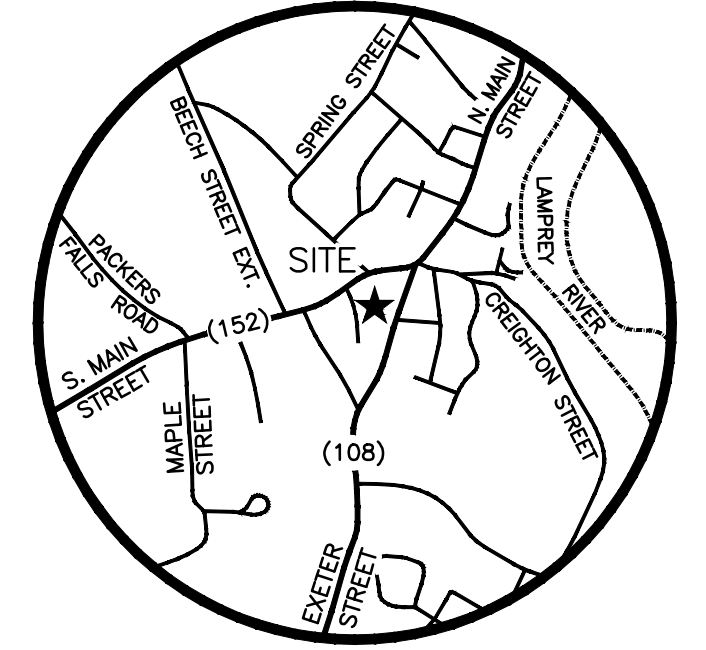
OWNERS OF RECORD:

U4-16
CC RAILROAD STREET NEWMARKET, LLC
P.O. BOX 571
GREENLAND, NH 03840

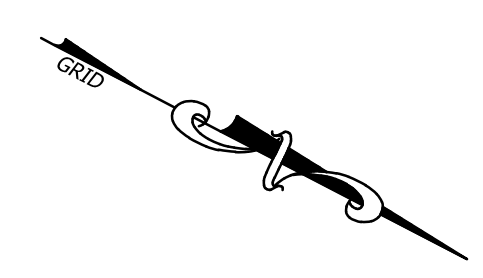
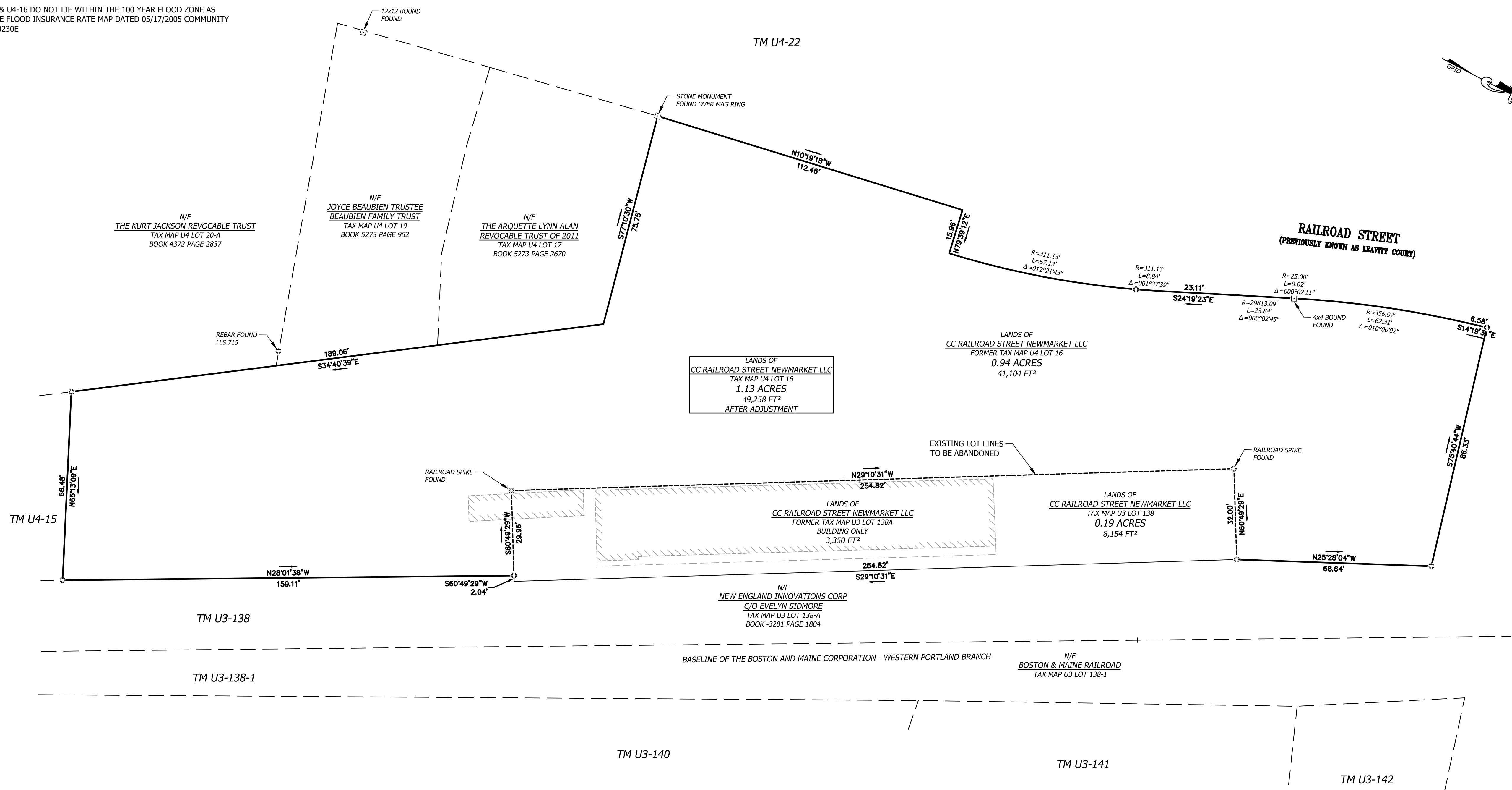
U3-138 & U3-138A
CC RAILROAD STREET NEWMARKET, LLC
P.O. BOX 571
GREENLAND, NH 03840

LOT AREAS:
U3-138 & U3-138A
ORIGINAL AREA: 7,893 SQ FT (0.18 ACRES)
REVISED AREA: 0 SQ FT (0 ACRES)

U4-16
ORIGINAL AREA: 41,110 SQ FT (0.94 ACRES)
REVISED AREA: 52,003 SQ FT (1.19 ACRES)



LOCUS N.T.S



N.H. ROUTE 152
(PREVIOUSLY MAINE STATE ROUTE)

LANDS OF
CC RAILROAD STREET NEWMARKET LLC
TAX MAP U4 LOT 16
1.13 ACRES
49,258 FT²
AFTER ADJUSTMENT

LANDS OF
CC RAILROAD STREET NEWMARKET LLC
FORMER TAX MAP U4 LOT 16
0.94 ACRES
41,104 FT²

LANDS OF
CC RAILROAD STREET NEWMARKET LLC
FORMER TAX MAP U3 LOT 138A
BUILDING ONLY
3,350 FT²

LANDS OF
CC RAILROAD STREET NEWMARKET LLC
TAX MAP U3 LOT 138
0.19 ACRES
8,154 FT²

N/F
NEW ENGLAND INNOVATIONS CORP
C/O EVELYN SIDMORE
TAX MAP U3 LOT 138-A
BOOK -3201 PAGE 1804

BASELINE OF THE BOSTON AND MAINE CORPORATION - WESTERN PORTLAND BRANCH
N/F
BOSTON & MAINE RAILROAD
TAX MAP U3 LOT 138-1

I HEREBY CERTIFY THAT THIS PLAT IS BASED ON A PRECISION GPS SURVEY AND IS CLASSIFIED URBAN.

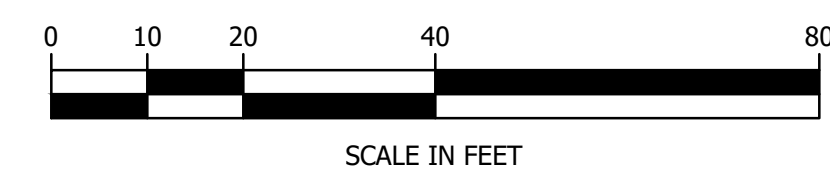
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO RSA TITLE LXIV AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

FINAL BOUNDARY LINE
ADJUSTMENT PLAN
APPROVED
PLANNING BOARD
Newmarket, New Hampshire

DATE _____ CHAIRMAN _____
SECRETARY _____

LEGEND

- PROPERTY LINE
- - - - - PROPERTY LINE TO BE ABANDONED
- · - · - · - APPROXIMATE BUTTER PROPERTY BOUNDARY LINE
- REBAR OR IRON PIPE FOUND
- MONUMENT FOUND



DATE OF PRINT
FEBRUARY 23 2024
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Civil and Structural Engineering
Land Surveying and Environmental Consulting

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**CC RAILROAD STREET
NEWMARKET LLC**
3 RAIL ROAD STREET
NEWMARKET, NH 03857

BOUNDARY LINE ADJUSTMENT

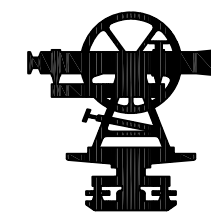
NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE: FEB. 2024	PROJECT #: 230750
ENG'D BY: TAL	DRAWN BY: TAL
CHECK'D BY: ---	ARCHIVE #: H---

SHEET 1

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LAND SURVEYORS



CIVIL ENGINEERS

ABUTTER INFORMATION table listing various owners and their addresses.

Table listing various owners and their addresses.

Table listing various owners and their addresses.

LOT AREAS:

Table showing lot areas for U4-15 and U4-16.

ABBREVIATION LEGEND:

Table of abbreviations for surveying terms like IPF, RSF, GBF, etc.

LEGEND

Table of symbols for surveying features like STONEMALL, PROPERTY LINE, etc.

I HEREBY CERTIFY THAT THIS PLAN, PREPARED UNDER MY DIRECTION, IS THE RESULT OF A SURVEY MADE ON THE GROUND AS PER RECORD DESCRIPTIONS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE PLAN CLOSURE EXCEEDS 1:10,000.

Signature and name of Randolph R. Tetreault, L.L.S. 729, dated 02/26/2020.

Table with columns for LINE, BEARING, and DISTANCE, listing survey points L1 through L21.

Table with columns for CURVE, ARC LENGTH, and RADIUS, listing curves C1, C2, and C3.

NOTES:

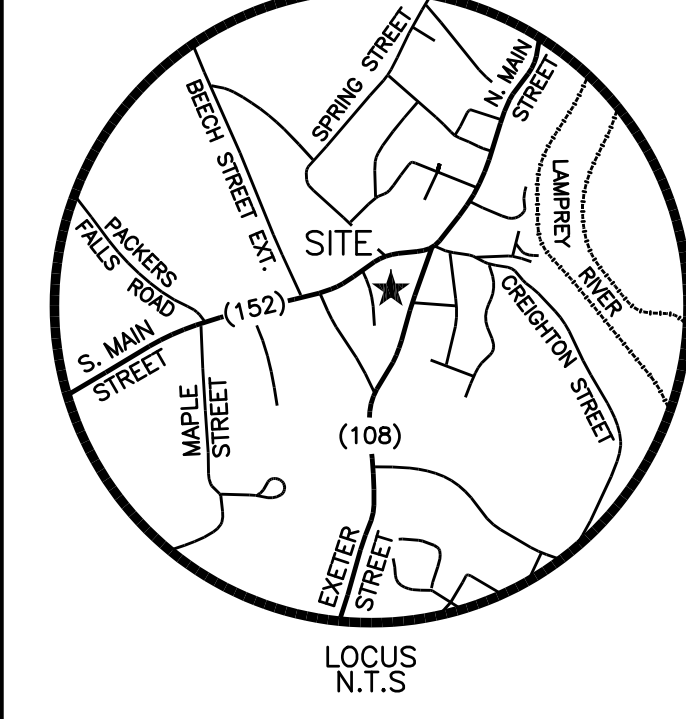
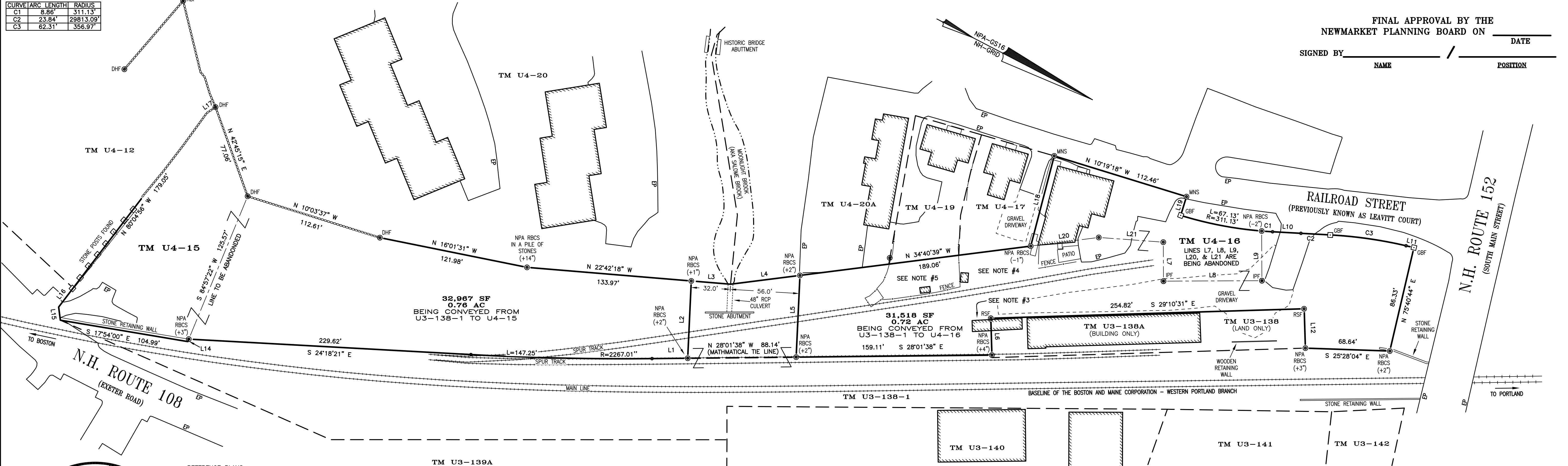
- List of 11 notes detailing survey conditions, easements, and building setbacks.

OWNERS OF RECORD:

Owner information for U4-15, U4-16, and U3-138-1.

FINAL APPROVAL BY THE NEWMARKET PLANNING BOARD ON DATE

SIGNED BY NAME POSITION



REFERENCE PLANS:

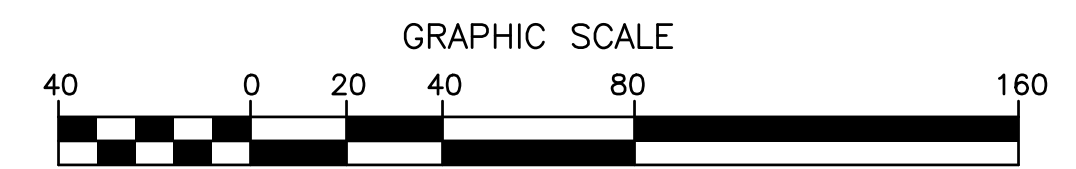
- List of 16 reference plans and documents used in the survey.

REFERENCE DOCUMENTS:

- List of 5 reference documents from state and local agencies.

BOUNDARY LINE ADJUSTMENT PLAN RAILROAD STREET, SOUTH MAIN STREET, & EXETER ROAD NEWMARKET ROCKINGHAM COUNTY NEW HAMPSHIRE

FOR: THE BOSTON AND MAINE CORPORATION, CHENEY PROPERTY MANAGEMENT & FIVE RAILROAD STREET, LLC 1" = 40' DATE: JANUARY 2020



REVISIONS: 02/05/2020 - REVISED TO REFLECT NEW LOT NUMBERS PER NEWMARKET PLANNING OFFICE 02/26/2020 - REVISED TO SHOW MONUMENTS SET

2 CONTINENTAL BLVD., ROCHESTER, NH 603-335-3948

FILE NO. 212 PLAN NO. C-3027-LLA DWG. NO. 19245 LLA-1 DRAWN BY AFR

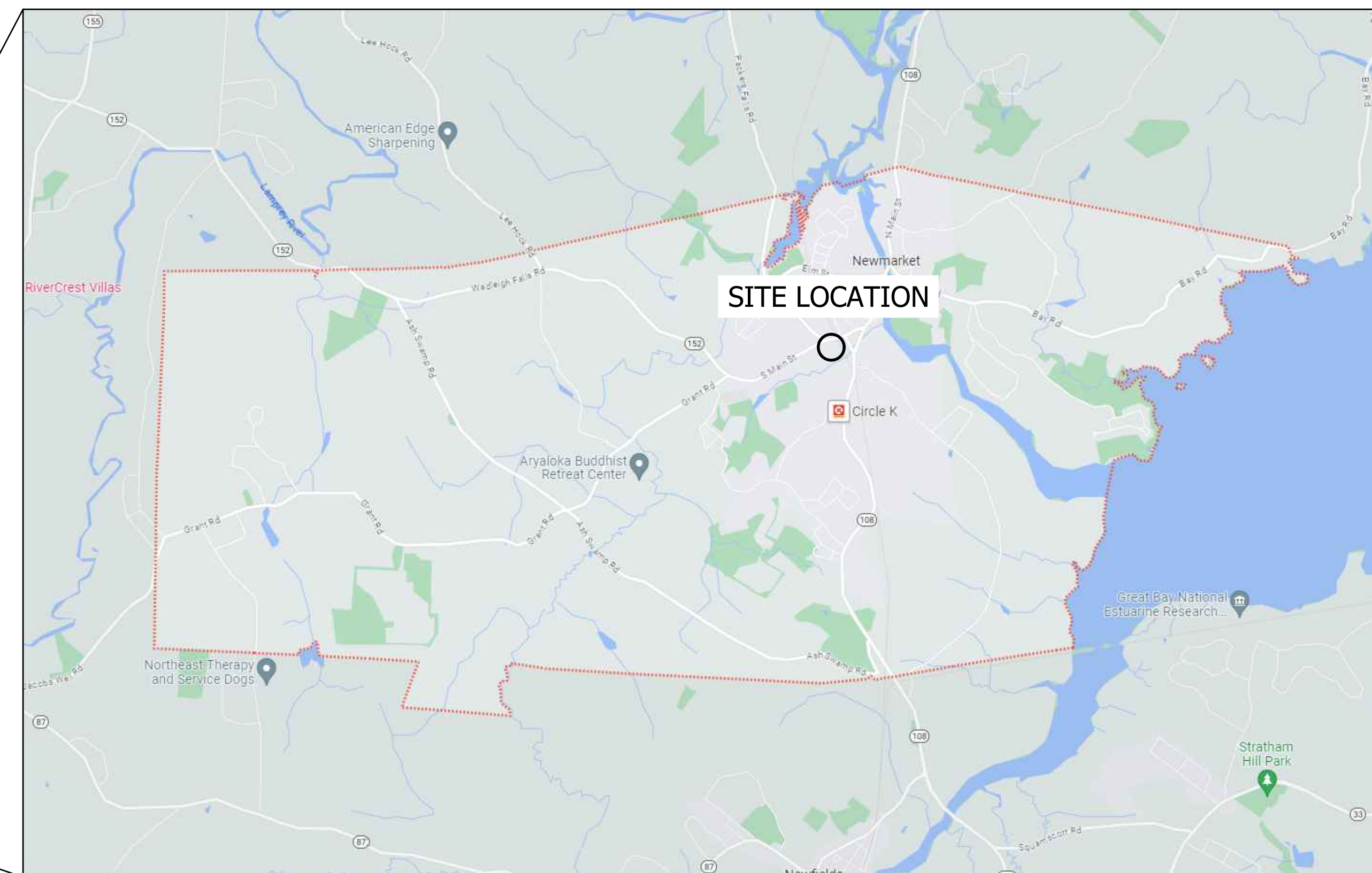
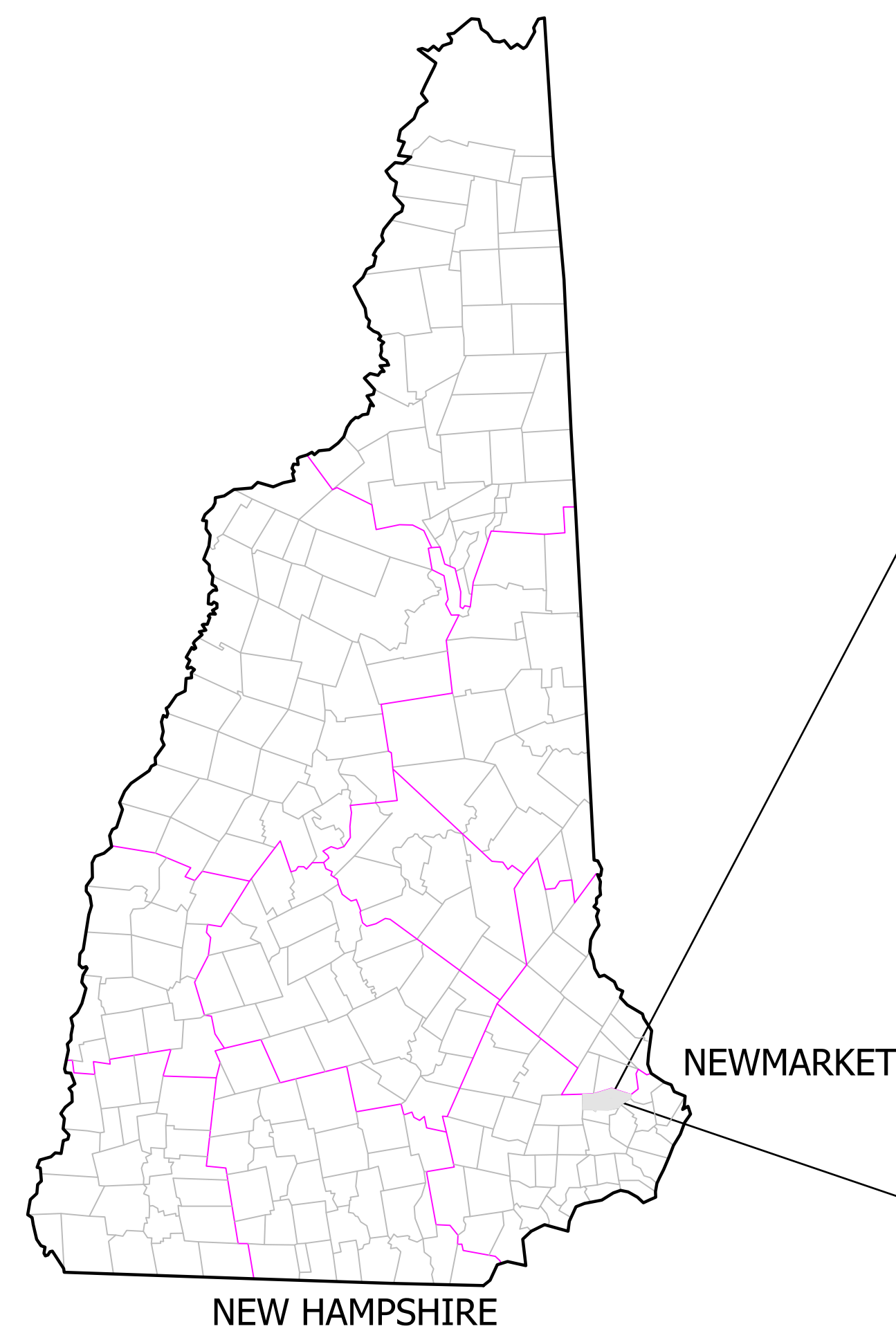
31 MOONEY STREET, ALTON, NH 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

CC RAILROAD STREET NEWMARKET LLC

SITE PLAN 3 RAILROAD STREET

NEWMARKET, NEW HAMPSHIRE
JANUARY 2024



LOCATION PLAN

PERMIT NOTES AND APPROVALS:
THIS PROJECT SHALL COMPLY WITH ALL CONDITIONS OF ALL PERMITS FOR THIS PROJECT. COPIES OF THESE PERMITS MAY BE REQUESTED FROM THE HEI NEWMARKET OFFICE.

NHDES SEWER CONNECTION PERMIT - PENDING, TO BE OBTAINED PRIOR TO CONSTRUCTION
EPA CONSTRUCTION GENERAL PERMIT - PENDING, TO BE OBTAINED PRIOR TO CONSTRUCTION

SHEET INDEX

COVER	EXISTING CONDITIONS PLAN
E101	SITE & UTILITY PLAN
C101	GRADING PLAN
C102	DEMOLITION AND EROSION CONTROL PLAN
C103	DEMO AND EROSION AND SEDIMENT CONTROL DETAILS
C501	CONSTRUCTION DETAILS
C502	UTILITY DETAILS
C503	DRAINAGE DETAILS
C504	

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CC RAILROAD STREET
NEWMARKET LLC
3 RAIL ROAD STREET
NEWMARKET, NH 03857

COVER

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

FOR REVIEW
NOT FOR CONSTRUCTION

DATE OF PRINT
FEBRUARY 22 2024
HORIZONS ENGINEERING

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Engineering
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DATE:	PROJECT #:
10.17.23	230750
ENG'D BY:	DRAWN BY:
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MJS	H-___
COVER	

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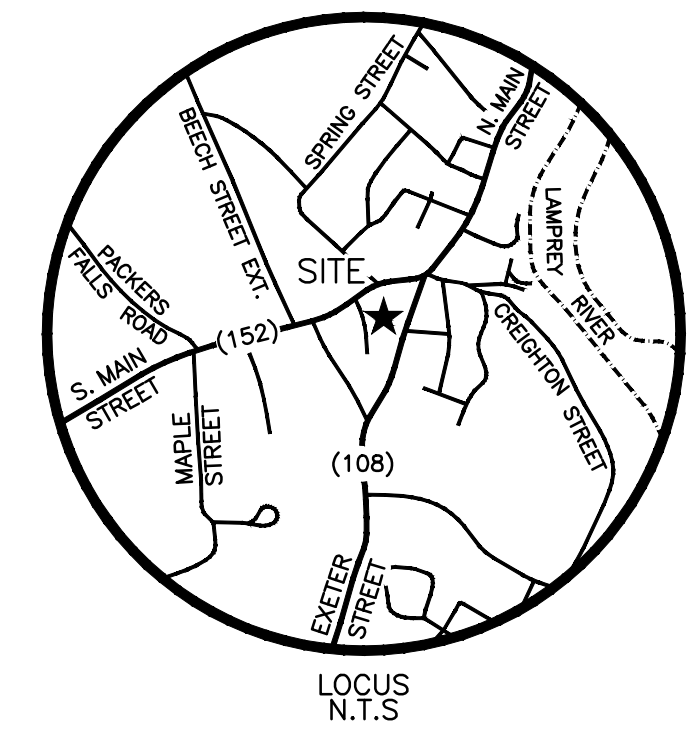
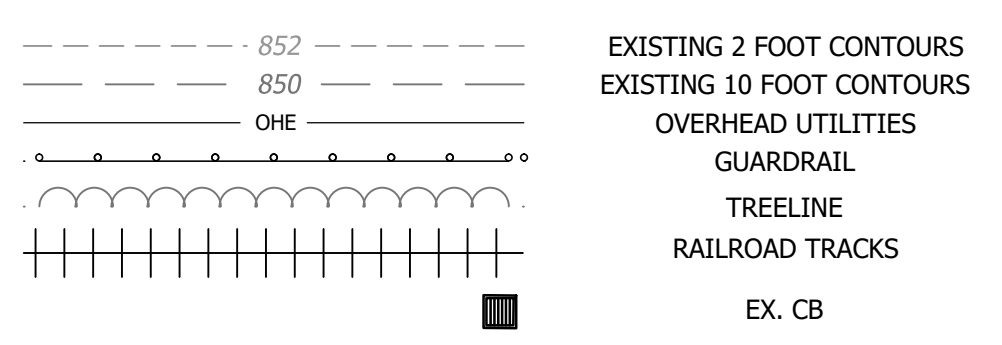
GENERAL NOTES:

- OWNER OF RECORD
CC RAILROAD STREET NEWMARKET LLC
P.O. BOX 571
GREENLAND, NH 03840
- THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY.
- THE INTENT OF THIS PLAN IS TO SHOW EXISTING CONDITIONS ON PARCEL U4-16 AND U3-138A.
- THE BEARINGS SHOWN ON THIS PLAN REFER TO GRID NORTH, NH STATE PLANE (NAD83), BASED ON A RTK GPS OBSERVATION TAKEN WITH A LEICA GS-16 ON 11/06/19. DISTANCE SHOWN ARE GROUND DISTANCES.
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- LOTS U3-138A & U4-16 DO NOT LIE WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP DATED 05/17/2005 COMMUNITY PANEL 33015C0230E

REFERENCE PLANS:

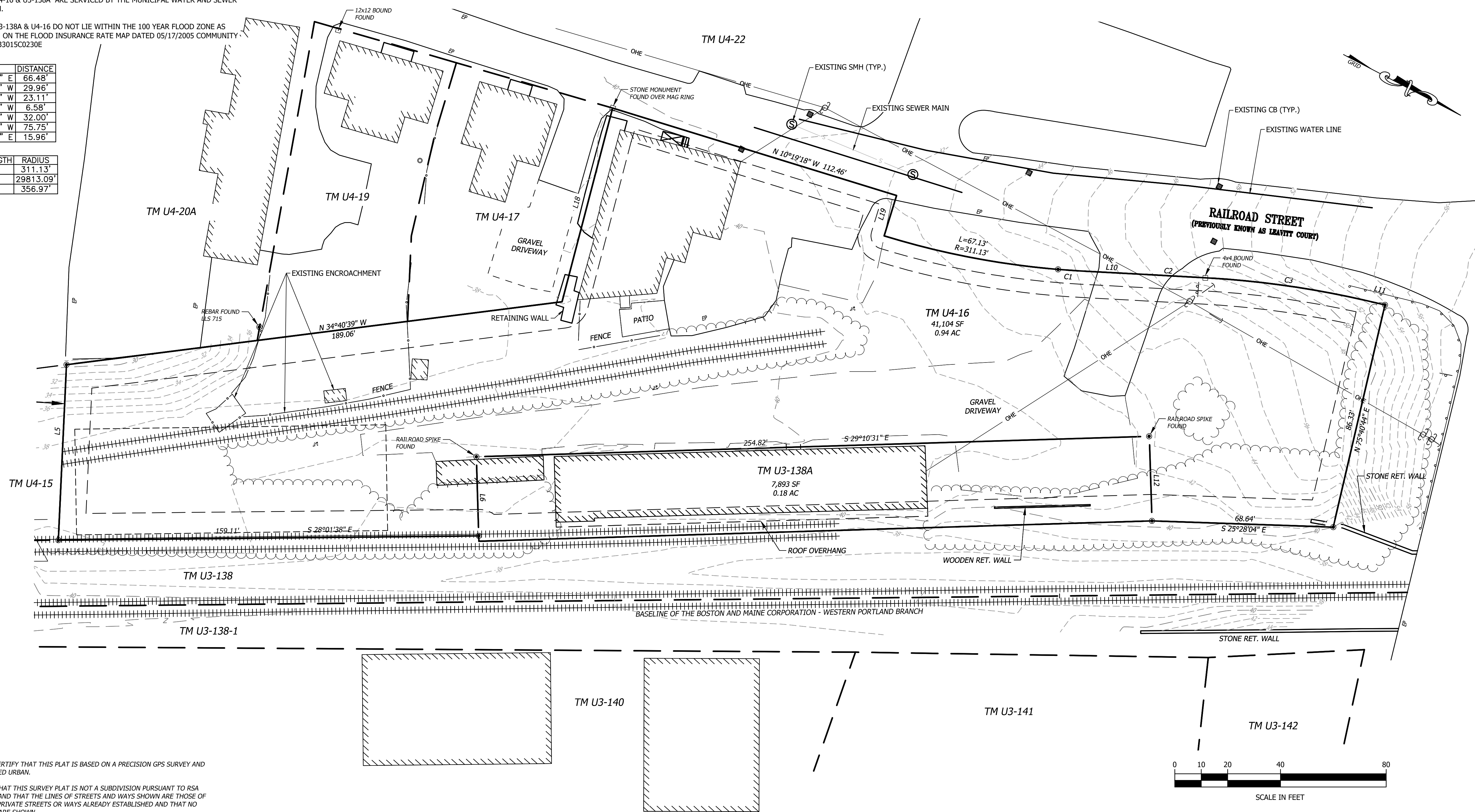
BOUNDARY LINE ADJUSTMENT PLAN RAILROAD STREET, SOUTH MAIN STREET, AND EXETER ROAD. NEWMARKET, ROCKINGHAM COUNTY, NEW HAMPSHIRE
FOR: THE BOSTON AND MAINE CORPORATION, CHENY PROPERTY MANAGEMENT, AND FIVE RAILROAD STREET, LLC
DATED: JANUARY 2020
BY: NORWAY PLAINS ASSOCIATES

LEGEND



LINE	BEARING	DISTANCE
L5	N 65°13'09" E	66.48'
L6	S 60°49'29" W	29.96'
L10	N 24°19'23" W	23.11'
L11	N 14°19'31" W	6.58'
L12	S 60°49'29" W	32.00'
L18	S 77°10'30" W	75.75'
L19	N 79°39'12" E	15.96'

CURVE	ARC LENGTH	RADIUS
C1	8.86'	311.13'
C2	23.84'	29813.09'
C3	62.31'	356.97'



N.H. ROUTE 152
(PREVIOUS NAME REMOVED)

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CC RAILROAD STREET
NEWMARKET LLC
3 RAIL ROAD STREET
NEWMARKET, NH 03857

EXISTING CONDITIONS

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

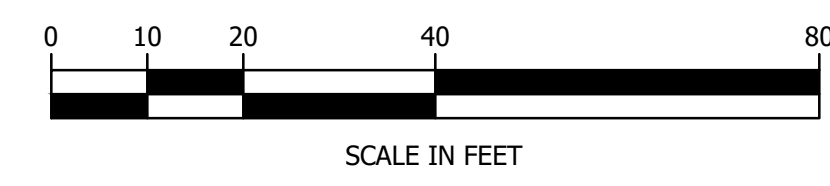
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10.17.23	230750
ENG'D BY:	DRAWN BY:
TAL	TAL
CHECK'D BY:	ARCHIVE #:
MJS	H-

E101

I HEREBY CERTIFY THAT THIS PLAT IS BASED ON A PRECISION GPS SURVEY AND IS CLASSIFIED URBAN.
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO RSA TITLE LXIV AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

ANDREW J. NADEAU, LLS 947 DATE

DATE OF PRINT
FEBRUARY 23 2024
HORIZONS ENGINEERING

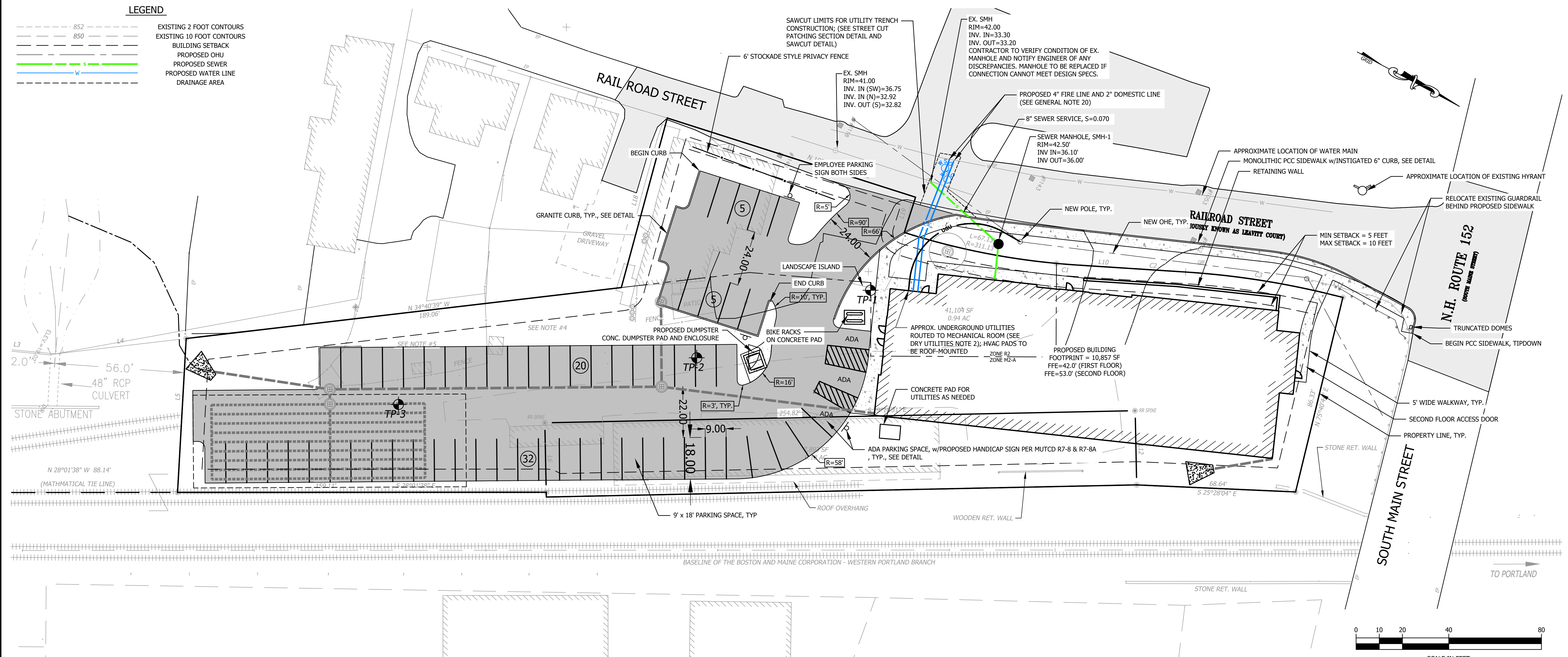


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LEGEND

- - - - - 852 EXISTING 2 FOOT CONTOURS
- - - - - 850 EXISTING 10 FOOT CONTOURS
- — — — — BUILDING SETBACK
- — — — — PROPOSED OHU
- — — — — PROPOSED SEWER
- — — — — PROPOSED WATER LINE
- — — — — DRAINAGE AREA



GENERAL NOTES:

1. OWNER OF RECORD
CC RAILROAD STREET NEWMARKET LLC
PO BOX 571
GREENLAND, NH 03840
2. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY.
3. THE INTENT OF THIS PLAN IS TO SHOW PROPOSED CONDITIONS FOR THE CONSTRUCTION OF AN 41-UNIT APARTMENT BUILDING WITH COMMERCIAL SPACE ON THE FIRST FLOOR.
6. PARCELS U4-16 & U3-138A LIE WITHIN ZONE M-2A. A PORTION OF PARCEL U4-16 IS IN ZONE R2.
7. LOT SIZE:
MAP U4-16: 0.94 ACRES
MAP U3-138A: 0.18 ACRES
8. THE FIELD SURVEY WAS COMPLETED BY NORWAY PLAINS ASSOCIATES AND HORIZONS ENGINEERING, INC.
9. VERTICAL DATUM BASED ON NAD83.
10. THERE ARE NO WETLANDS ON THIS PROPERTY.
11. MAP U3-138A HAS NO FRONTAGE BUT HAS AN ACCESS EASEMENT ACROSS LOT 16.
12. AUTOMOBILE PARKING CALCULATIONS
62 PARKING SPACES PER APPROVED VARIANCE

SEWER DESIGN CALCULATIONS:

NEW BUILDING INCLUDES (1) COMMERCIAL SPACE WITH 7 EMPLOYEES AND (41) 1-BEDROOM APARTMENTS.

TOTAL DAILY DESIGN FLOW RATE:
7 EMPLOYEES X 10 GPD = 70 GPD
41 APARTMENTS X 225 GPD = 9,225 GPD ---> TOTAL NEW BUILDING FLOW RATE = 70 GPD + 9,225 GPD = 9,295 GPD

TOTAL INFILTRATION DESIGN FLOW RATE:
150 GPD/ACRE = 150 GPD * 1.12 ACRES = 168 GPD

TOTAL COMBINED BUILDING & INFILTRATION DESIGN FLOW RATE:
= 9,295 GPD + 168 GPD = 9,463 GPD TOTAL DESIGN FLOW RATE

USING A PEAKING FACTOR OF 6, TOTAL COMBINED DESIGN PEAK HOURLY FLOW RATE = 39.4 GPM/0.09 CFS
NEW 8" PVC SEWER SERVICE PIPE, SLOPE = 0.07, AT 75% DESIGN FLOW CAPACITY PROVIDES 2.398 CFS / 1,076.2 GPM ALLOWABLE FLOW IN PIPE.
DESIGN IS SUFFICIENT FOR NEW BUILDING DESIGN PEAK HOURLY FLOW RATES.

- 1) FLOWRATES PER WASTEWATER ENGINEERING TREATMENT AND RESOURCE RECOVERY, METCALF & EDDY/AECOM, 5TH EDITION.
- 2) INFILTRATION (150 GPD/ACRE) PER NH ENV-WQ 700, SEC. 704.03.F. PEAKING FACTOR PER H ENV-WQ 700, SEC. 704.03.D. CONTRIBUTING SEWER AREAS: LOT = 1.12 ACRES.

GENERAL NOTES CONTINUED:

13. THE TOTAL AREA DISTURBED FOR THIS DEVELOPMENT IS 47,000 Sq.Ft.
14. THE PROJECT IS SUBJECT TO THE FOLLOWING RELIEF FROM THE NEWMARKET ZONING AND SITE PLAN REGULATIONS:
 - VARIANCE: RELIEF FROM SECTION 32-56 PERMITTED USES OF THE MUNICIPAL CODE OF THE TOWN OF NEWMARKET TO PERMIT A MIXED-USE DEVELOPMENT IN THE R2 ZONING DISTRICT.
 - VARIANCE: RELIEF FROM SECTION 32-46A(2)E M2A PERMITTED USES OF THE MUNICIPAL CODE OF THE TOWN OF NEWMARKET TO PERMIT A RESIDENTIAL UNITS ON THE FIRST FLOOR OF A MIXED USE BUILDING WITH FRONTAGE ON SOUTH MAIN STREET IN THE M2A ZONING DISTRICT.
 - VARIANCE: RELIEF FROM SECTION 32-89 DIMENSIONS TABLE OF THE MUNICIPAL CODE OF THE TOWN OF NEWMARKET TO PERMIT A TOTAL OF 41 RESIDENTIAL UNITS WITH 35 RESIDENTIAL UNITS IN THE M2A ZONING DISTRICT AND 6 RESIDENTIAL UNITS IN THE R2 ZONING DISTRICT.
 - VARIANCE: RELIEF FROM SECTION 32-46A(2)C M2A PERMITTED USES OF THE MUNICIPAL CODE OF THE TOWN OF NEWMARKET TO PERMIT 62 ON-SITE PARKING SPACES INSTEAD OF THE REQUIRED 2 ON-SITE PARKING SPACES PER RESIDENTIAL UNIT.
15. ZONE: M-2A
DIMENSIONAL REQUIREMENTS:

	REQUIRED	PROVIDED
MIN. LOT AREA	0.25 AC	0.18 AC*
MIN. FRONTAGE	90 FT	N/A*
MIN. ROAD SETBACK	5 FT	89.2 FT*
MAX. ROAD SETBACK	10 FT	89.2 FT*
MIN. SIDE/REAR SETBACK	10 FT	41.7 FT / 6.8 FT
MAX. BUILDING HEIGHT	35 FT	30.6 FT

*EXISTING NONCONFORMING

ZONE: R-2
DIMENSIONAL REQUIREMENTS:

	REQUIRED	PROVIDED
MIN. LOT AREA	0.50 AC	0.18 AC
MIN. FRONTAGE	100 FT	N/A*
MIN. ROAD SETBACK	25 FT	N/A*
MAX. ROAD SETBACK	N/A	N/A*
MIN. SIDE/REAR SETBACK	15 FT	15 FT
MAX. BUILDING HEIGHT	35 FT	35 FT

ZONING INFORMATION IS BASED ON THE TOWN OF NEWMARKET ZONING ORDINANCE DATED 8/7/13.

GENERAL NOTES CONTINUED:

16. PARKING REQUIREMENTS:
62 SPACES PER APPROVED VARIANCE
17. IF CONTAMINATED SOILS ARE FOUND TO EXIST ON THE LOT, THEY MUST BE PROPERLY HANDLED AND DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL REGULATIONS. SOIL BELOW EXISTING RR IS SUSPECTED TO BE CONTAMINATED WITH CREOSOTE.
18. SITE IMPROVEMENTS ON LOT 16 THAT WILL BE USED BY THE SUBJECT PROPERTY (LOT 138A):
 - 18.1. AN EASEMENT TO CONSTRUCT, MAINTAIN AND USE A "5' WIDE BRICK PAVER WALKWAY" AS SHOWN ON THE PLAN;
 - 18.2. A NONEXCLUSIVE EASEMENT TO PAVE AND/OR REPAVE, USE AND MAINTAIN THE EXISTING DRIVEWAYS FROM RAILROAD STREET AND TO PLACE OVER OR UNDER SUCH EXISTING DRIVEWAYS UTILITY LINES SERVING THE 3 RAILROAD PROPERTY;
 - 18.3. A NONEXCLUSIVE EASEMENT FOR ACCESS TO AND USE OF THE AREA ON THE PLAN SHOWN AS "PROPOSED DUMPSTER TO REPLACE EXISTING DUMPSTER AND SERVICE PROPOSED RESIDENTIAL UNITS AND EXISTING COMMERCIAL USE" AND FOR THE PLACEMENT, USE AND MAINTENANCE OF SUCH DUMPSTER.
 - 18.4. AN EASEMENT TO CONSTRUCT AND MAINTAIN A "ROOF OVERHANG ABOVE ENTRY" AS SHOWN ON THE PLAN.
 - 18.5. A NONEXCLUSIVE EASEMENT FOR ACCESS TO AND USE OF THE AREA SHOWN ON THE PLAN AS "SNOW STORAGE" FOR SNOW STORAGE.
 - 18.6. AN EASEMENT TO CONSTRUCT, MAINTAIN AND USE THE "PADS" OUTSIDE OF THE GARAGE DOOR AS SHOWN ON THE PLAN.
 - 18.7. AN EASEMENT 10 FEET WIDE ALONG THE NORTHWESTERLY BOUNDARY LINE OF THE PROPOSED BUILDING ON THE LOT IN WHICH NO STRUCTURES MAY BE CONSTRUCTED. [THIS NEEDS TO BE ADDED TO THE PLAN].
 - 18.8. AN EASEMENT FOR ACCESS TO AND TO CONSTRUCT, USE AND MAINTAIN THE "TWO BICYCLE STANDS" SHOWN ON THE PLAN.
19. ALL PROPOSED AND FUTURE LIGHTING FIXTURES ON THE LOT SHALL BE DARK SKY COMPLIANT.
20. CONTRACTOR TO NOTIFY TOWN AT TIME OF CONSTRUCTION FOR WATER LINE SERVICE CONNECTION TO MUNICIPAL SYSTEM. COORDINATE WITH TOWN AS NECESSARY FOR POTENTIAL INSTALLATION OF HYDRANT AT TIME OF CONSTRUCTION.

DRY UTILITY NOTES:

1. OWNER TO COORDINATE WITH UTILITY PROVIDER TO RELOCATE EXISTING POWER POLE AND OVERHEAD ELECTRICAL LINES
2. OWNER TO COORDINATE WITH UTILITY PROVIDER FOR ELECTRICAL SERVICES TO BUILDING INCLUDING TRANSFORMERS, AS REQUIRED.

SNOW STORAGE NOTES:

1. ALL SNOW STORAGE TO BE WITHIN ON-SITE LANDSCAPING AREAS. OWNER TO COORDINATE REMOVAL OF SNOW OFF SITE, AS NEEDED.

REFERENCE PLANS:

BOUNDARY LINE ADJUSTMENT PLAN RAILROAD STREET, SOUTH MAIN STREET, AND EXETER ROAD. NEWMARKET, ROCKINGHAM COUNTY, NEW HAMPSHIRE FOR: THE BOSTON AND MAINE CORPORATION, CHENY PROPERTY MANAGEMENT, AND FIVE RAILROAD STREET, LLC
DATED: JANUARY 2020
BY: NORWAY PLAINS ASSOCIATES

CONSTRUCTION PHASING:

THE SUBJECT PROPERTY WILL BE DEVELOPED AS TWO PRIMARY PHASES:

- PHASE 1 INCLUDES THE SITE PREPARATION AND CONSTRUCTION FOR THE PROPOSED BUILDING ONLY. THE EXISTING HISTORIC BRICK BUILDING LOCATED ALONG THE RAILROAD TRACKS WILL BE REMOVED AS PART OF PHASE 1. EARTHWORK WILL ONLY BE CONDUCTED ON THE NORTHERN PORTION OF THE SUBJECT PROPERTY IN THE VICINITY OF THE PROPOSED BUILDING. PHASE 1 STORMWATER CONTROL BMPS WILL BE IMPLEMENTED ACCORDINGLY, WHICH INCLUDED A CONSTRUCTION ENTRANCE ALONG RAILROAD STREET AND SILT FENCE ALONG THE DOWNGRADIANT PERIMETER OF THE PROPOSED BUILDING. THE BMPS WILL REMAIN IN PLACE UNTIL VERTICAL CONSTRUCTION IS COMPLETE. PHASE 1 ALSO INCLUDES THE PROPOSED WATER AND SEWER UTILITY CONNECTIONS.
- PHASE 2 INCLUDES THE CONSTRUCTION OF THE PARKING AREA, SIDEWALK, STORMWATER INFRASTRUCTURE LOCATED AT THE SOUTHERN AND WESTERN PORTION OF THE PROPERTY. THE EXISTING OFFICE BUILDING AND HISTORIC RAILROAD TRACKS WILL BE REMOVED AS PART OF PHASE 2. PHASE 2 STORMWATER CONTROL BMPS WILL BE IMPLEMENTED ACCORDINGLY, WHICH INCLUDED A CONSTRUCTION ENTRANCE ALONG PARKING LOT ENTRANCE AND SILT FENCE ALONG THE PERIMETER OF THE PROPOSED PARKING AREA. THE BMPS WILL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND THE SITE ACHIEVES FINAL STABILIZATION.

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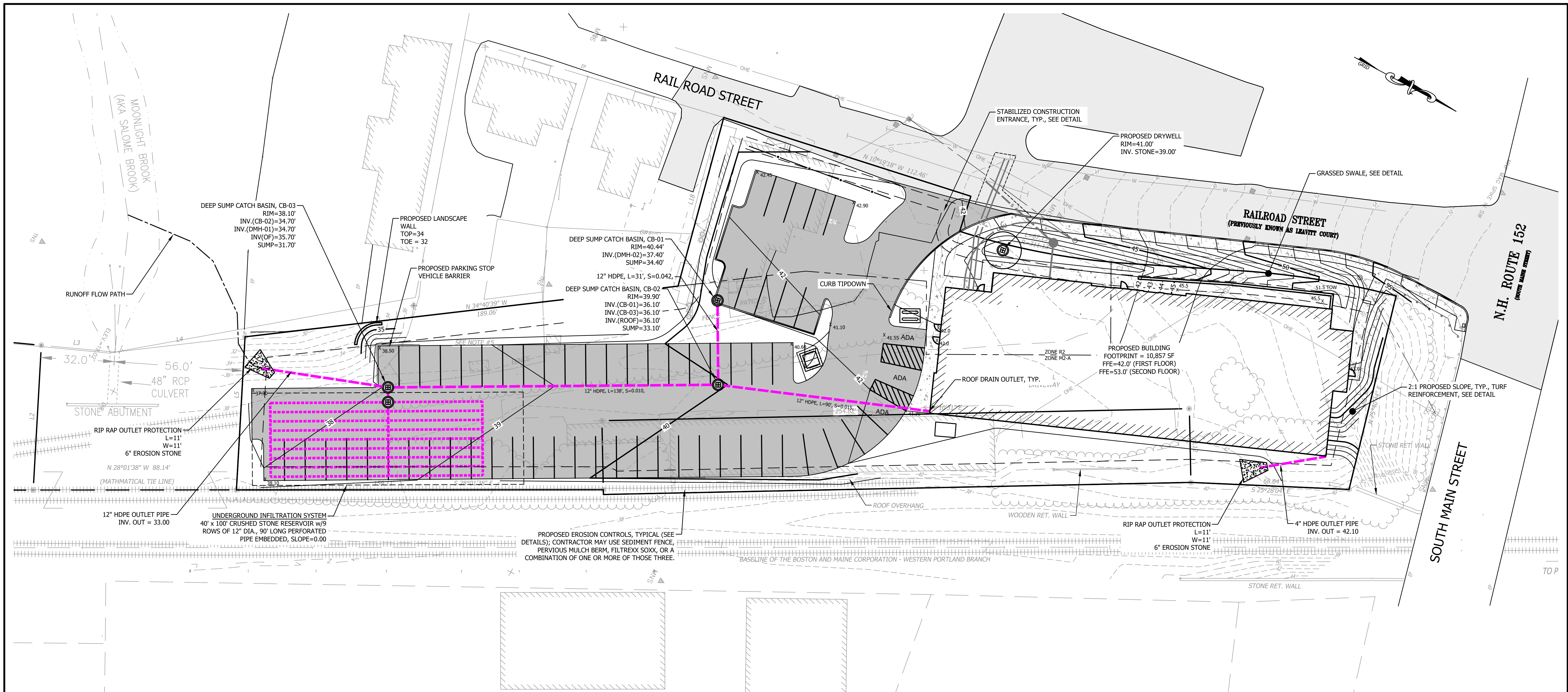
SITE & UTILITY PLAN

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE:	PROJECT #:
10.17.23	230750
ENGINE'D BY:	DRAWN BY:
TAL	TAL
CHECK'D BY:	ARCHIVE #:
MJS	H---

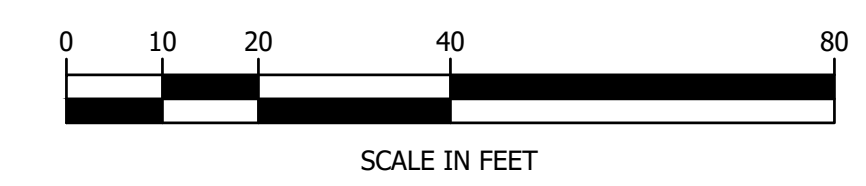
C101

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LEGEND

- - - - - 852 - - - - - EXISTING 2 FOOT CONTOURS
- - - - - 850 - - - - - EXISTING 10 FOOT CONTOURS
- - - - - BUILDING SETBACK
- - - - - PROPOSED DRAIN LINE
- ⊕ PROPOSED CB
- EX. CB



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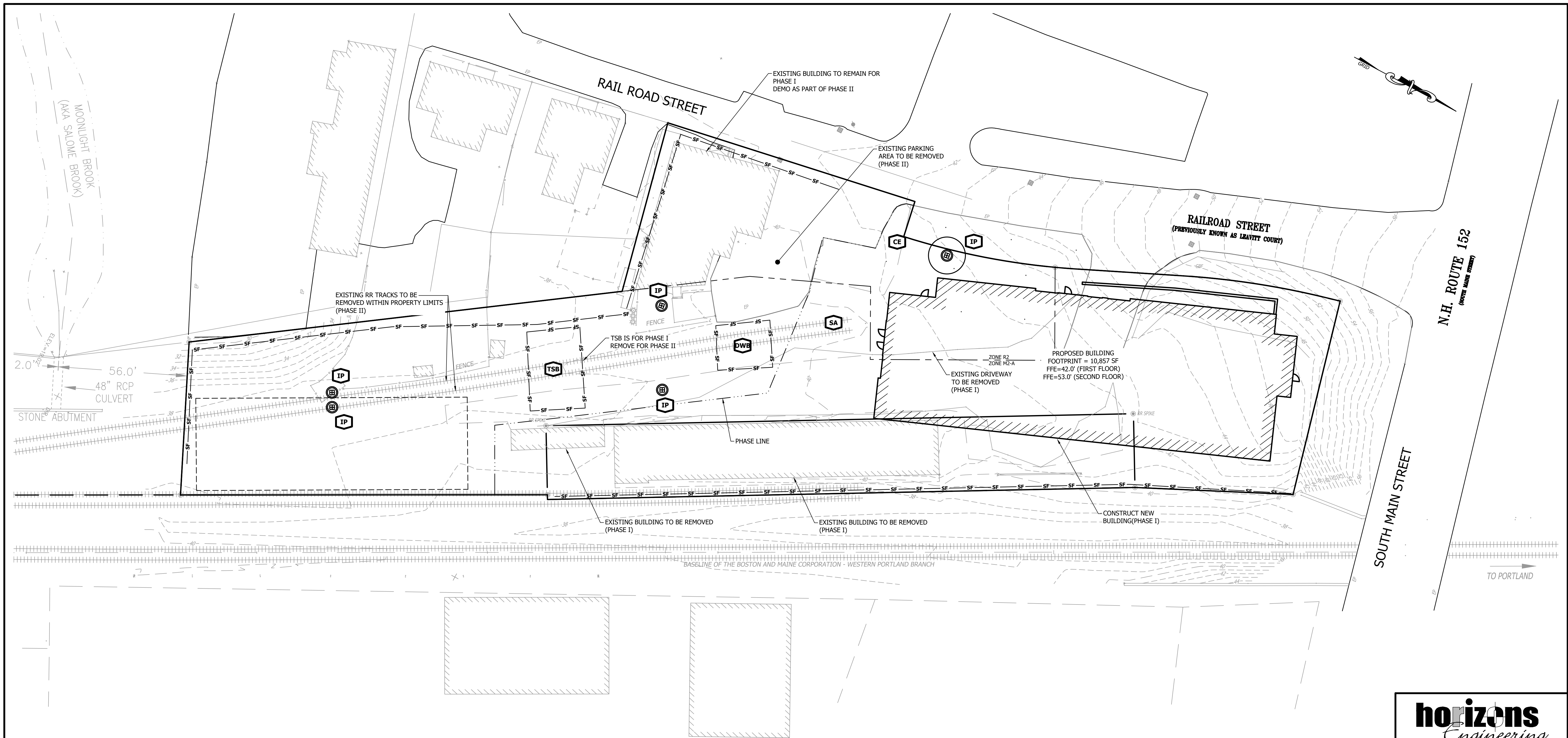
**GRADING & EROSION AND
SEDIMENTATION CONTROL PLAN**

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE:	PROJECT #:
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CHECK'D BY:	ARCHIVE #:
MJS	H-___

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EROSION CONTROL LEGEND

- MATERIAL AND EQUIPMENT STORAGE AREA
- SEDIMENT FENCE OR EQUIVALENT
- TEMPORARY SEDIMENTATION BASIN
- INLET PROTECTION
- CONSTRUCTION EXIT
- DEWATERING BASIN

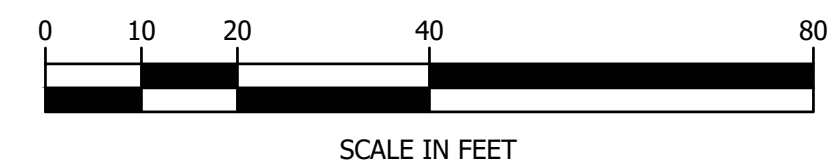
CONSTRUCTION PHASING:

THE SUBJECT PROPERTY WILL BE DEVELOPED AS TWO PRIMARY PHASES:

- PHASE 1 INCLUDES THE SITE PREPARATION AND CONSTRUCTION FOR THE PROPOSED BUILDING ONLY. THE EXISTING HISTORIC BRICK BUILDING LOCATED ALONG THE RAILROAD TRACKS WILL BE REMOVED AS PART OF PHASE 1. EARTHWORK WILL ONLY BE CONDUCTED ON THE NORTHERN PORTION OF THE SUBJECT PROPERTY IN THE VICINITY OF THE PROPOSED BUILDING. PHASE 1 STORMWATER CONTROL BMPs WILL BE IMPLEMENTED ACCORDINGLY, WHICH INCLUDED A CONSTRUCTION ENTRANCE ALONG RAILROAD STREET AND SILT FENCE ALONG THE DOWNGRADE PERIMETER OF THE PROPOSED BUILDING. THE BMPs WILL REMAIN IN PLACE UNTIL VERTICAL CONSTRUCTION IS COMPLETE. PHASE 1 ALSO INCLUDES THE PROPOSED WATER AND SEWER UTILITY CONNECTIONS.
- PHASE 2 INCLUDES THE CONSTRUCTION OF THE PARKING AREA, SIDEWALK, STORMWATER INFRASTRUCTURE LOCATED AT THE SOUTHERN AND WESTERN PORTION OF THE PROPERTY. THE EXISTING OFFICE BUILDING AND HISTORIC RAILROAD TRACKS WILL BE REMOVED AS PART OF PHASE 2. PHASE 2 STORMWATER CONTROL BMPs WILL BE IMPLEMENTED ACCORDINGLY, WHICH INCLUDED A CONSTRUCTION ENTRANCE ALONG PARKING LOT ENTRANCE AND SILT FENCE ALONG THE PERIMETER OF THE PROPOSED PARKING AREA. THE BMPs WILL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND THE SITE ACHIEVES FINAL STABILIZATION.

EROSION CONTROL NOTES:

1. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED PER THE SWPPP. MINIMUM REQUIRED MEASURES ARE SHOWN.
2. REFER TO THE CONCRETE WASHOUT DETAIL ON SHEET C503.
3. IT IS ANTICIPATED ANY POTENTIAL DEWATERING REQUIRED IS LIKELY LOCATED AT THE LOCATIONS OF THE TRENCH EXCAVATIONS REQUIRED FOR THE NEW UTILITY SERVICE(S) CONSTRUCTION IN THE NORTHERN PORTION OF THE SITE. REFER TO THE DEWATERING DETAIL ON SHEET C503.



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**DEMO & EROSION AND
SEDIMENTATION CONTROL PLAN**

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE:	PROJECT #:
10.17.23	230750
ENG'ND BY:	DRAWN BY:
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CHECK'D BY:	ARCHIVE #:
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C103

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SEEDING RECOMMENDATIONS

- 1. GRADING AND SHAPING
A. SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED.
2. SEEDED PREPARATION
A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.

- 3. ESTABLISHING VEGETATION
A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL.

Table with columns: USE, SEEDING MIXTURE (SEE 3D), SOIL TYPE (DROUGHTY, WELL DRAINED, MOD. WELL DRAINED, POORLY DRAINED), and rows for STEEP CUTS AND FILLS, WATERWAYS, LIGHTLY USED PARKING LOTS, etc.

Table with columns: D. SEEDING RATES, MIXTURE, POUNDS PER ACRE, POUNDS PER 1,000 SQ. FT., and rows for A TALL FESCUE, B TALL FESCUE, C TALL FESCUE, etc.

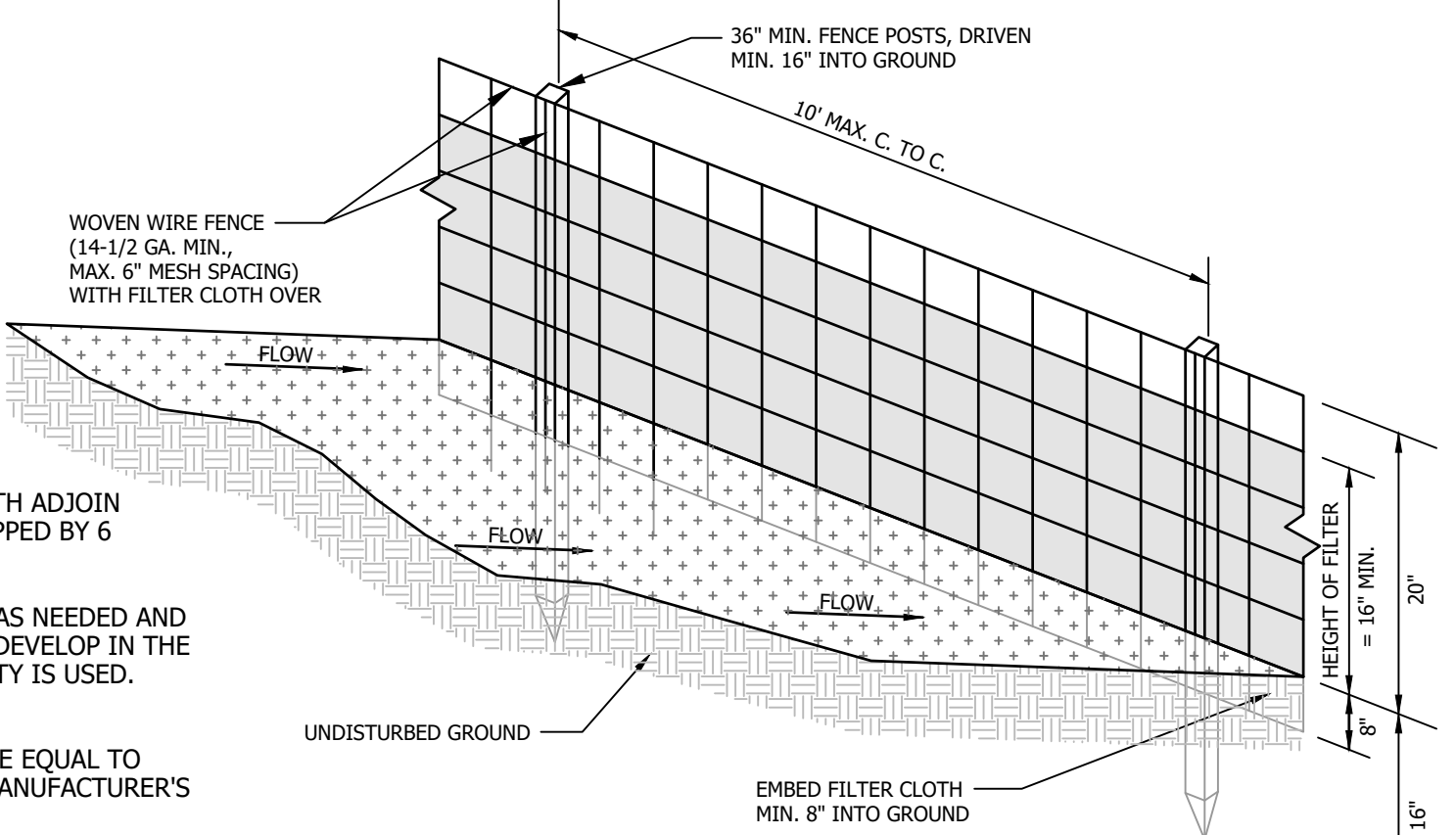
E. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO SEPTEMBER 15. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.

Table with columns: F. TEMPORARY SEEDING RATES, SPECIES, POUNDS PER ACRE, POUNDS PER 1,000 SQ. FT., REMARKS, and rows for WINTER RYE, OATS, ANNUAL RYEGRASS, PERENNIAL RYEGRASS.

- 4. MULCH
A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
5. MAINTENANCE TO ESTABLISH A STAND
A. PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.

CONSTRUCTION NOTES FOR SEDIMENT FENCE

- 1. WOVEN WIRE FENCE, IF REQUIRED, TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP, MID SECTION, AND BOTTOM.

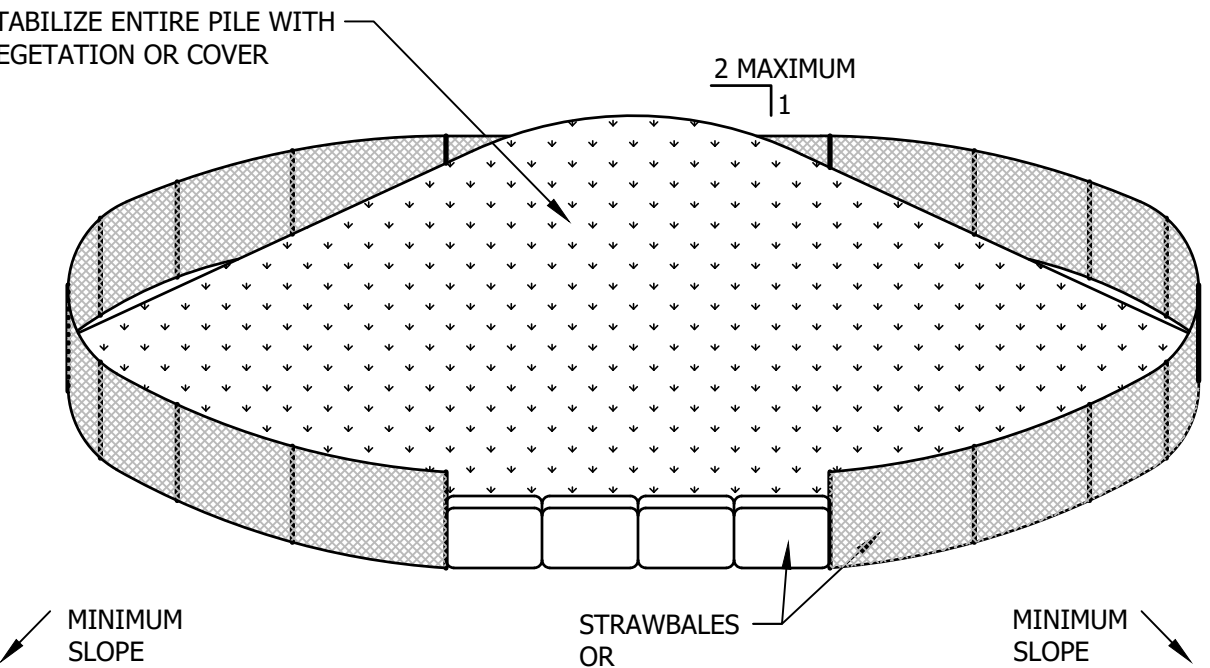


SEDIMENT FENCE NO SCALE

EROSION CONTROL GENERAL NOTES

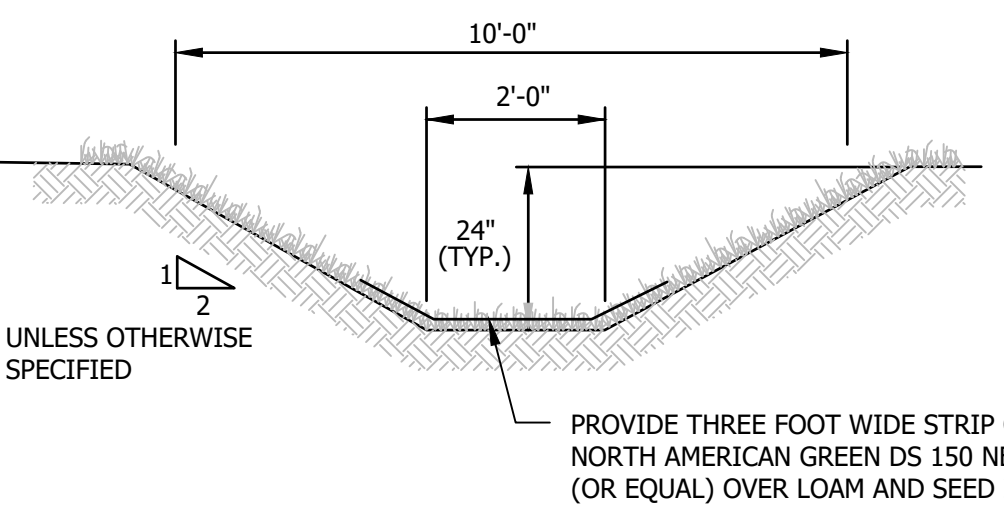
- A. KEEP SITE MODIFICATION TO A MINIMUM
1. CONSIDER FITTING THE BUILDING AND DRIVEWAY TO THE NATURAL TOPOGRAPHY. THIS REDUCES THE NEED FOR CUTS AND FILLS, AVOID EXTENSIVE GRADING THAT WOULD ALTER DRAINAGE PATTERNS OR CREATE VERY STEEP SLOPES.
B. MINIMIZE POLLUTION OF WATER DURING CONSTRUCTION ACTIVITIES
1. STOCKPILE TOPSOIL REMOVED FROM CONSTRUCTION AREA AND SPREAD OVER ANY DISTURBED AREAS PRIOR TO REVEGETATION.

- D. INVASIVE SPECIES AND FUGITIVE DUST
1. THE PROJECT SHALL NOT CONTRIBUTE TO THE SPREAD OF INVASIVE SPECIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EVALUATE WORK AREAS FOR THE PRESENCE OF INVASIVE SPECIES, AND IF FOUND SHALL TAKE NECESSARY MEASURES TO PREVENT THEIR SPREAD.



SOIL STOCKPILING IS TO BE USED WHERE TOPSOIL IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVERS, MULCH, NON-VEGETATIVE COVERS, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS.

SOIL STOCKPILING DETAIL NOT TO SCALE



GRASS LINED DITCH DETAIL NOT TO SCALE

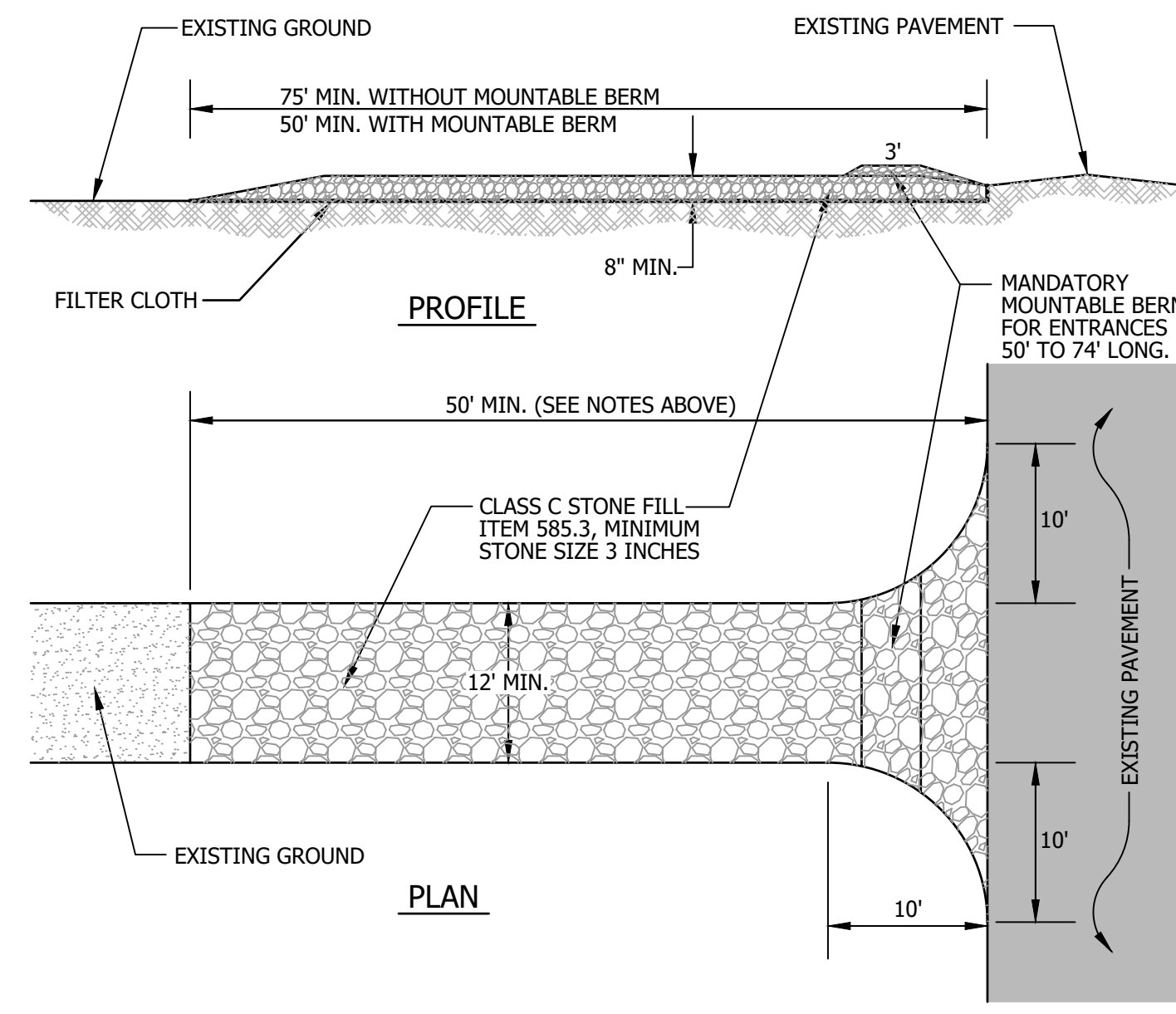
COLD WEATHER SITE STABILIZATION REQUIREMENTS

TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE FOLLOWING ADDITIONAL STABILIZATION TECHNIQUES SHALL BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 1:

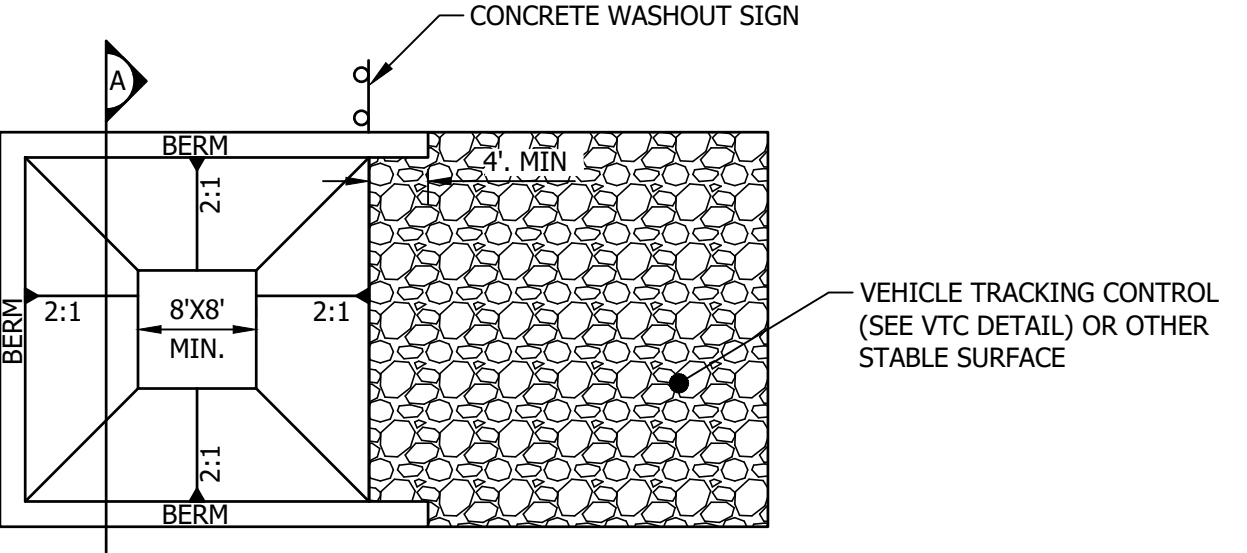
- 1. THE AREA OF EXPOSED, UNSTABILIZED SOIL SHALL BE LIMITED TO 1 ACRE AND SHALL BE PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT.
2. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE.

CONSTRUCTION SEQUENCE

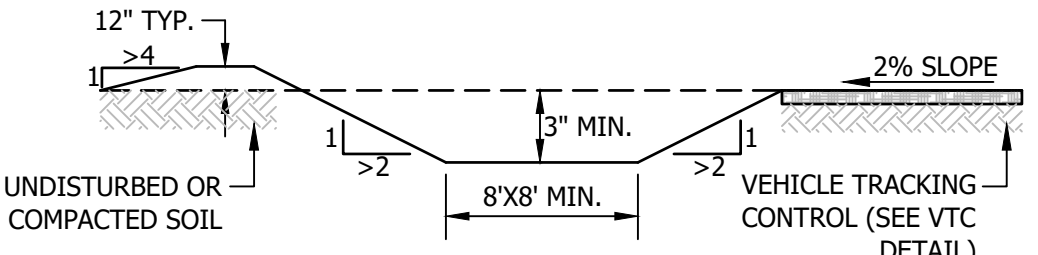
- 1. INSTALL CONSTRUCTION ENTRANCE, SEE DETAIL.
2. CUT AND CLEAR TREES WITHIN THE CLEARING LIMITS.
3. INSTALL SEDIMENT FENCES, ROCK CHECK DAMS, AND OTHER APPROPRIATE EROSION CONTROL MEASURES AT LOCATIONS SHOWN ON THE PLANS AND AS NEEDED.



STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



CONCRETE WASHOUT AREA PLAN NOT TO SCALE



SECTION A NOT TO SCALE

- INSTALLATION NOTES:
1. SEE PLAN FOR CWA INSTALLATION LOCATION.
2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY.
3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.

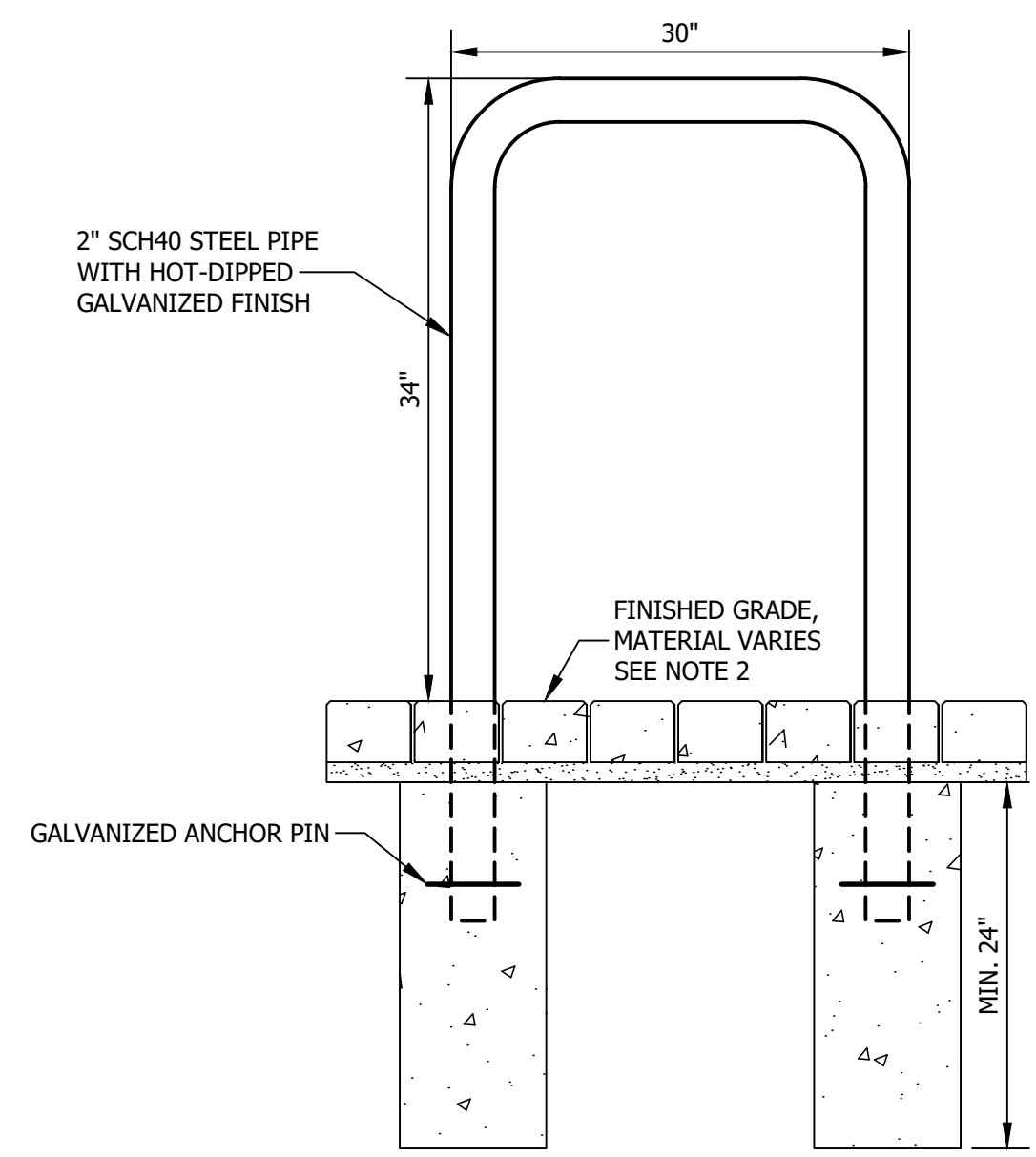
- MAINTENANCE NOTES:
1. INSPECT BMPs EACH WORKDAY AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NO REACTIVE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION.

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EROSION AND SEDIMENT CONTROL DETAILS

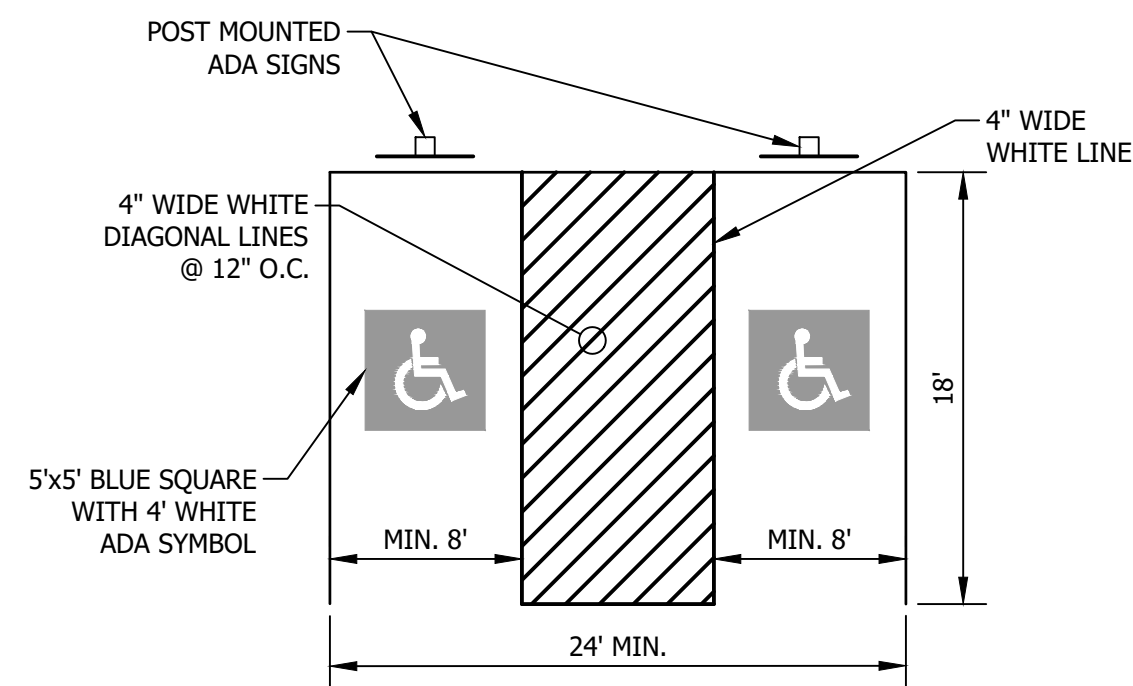
Table with columns: NO., DATE, REVISION DESCRIPTION, ENG., DWG. and rows for revision tracking and project details like DATE: 10.17.23, PROJECT #: 230750.



- NOTES:
1. ALL BICYCLE STANDS MUST BE MADRAX UX238-IG-G OR UX238-SF-G, OR APPROVED EQUAL.
 2. ALL BICYCLE STANDS MUST BE IN-GROUND MOUNTED UNLESS THEY WILL BE MOUNTED TO AN EXISTING CONCRETE SLAB THAT MEETS MADRAX REQUIREMENTS FOR SURFACE MOUNTING.

SHEFFIELD BICYCLE STAND DETAIL

NOT TO SCALE



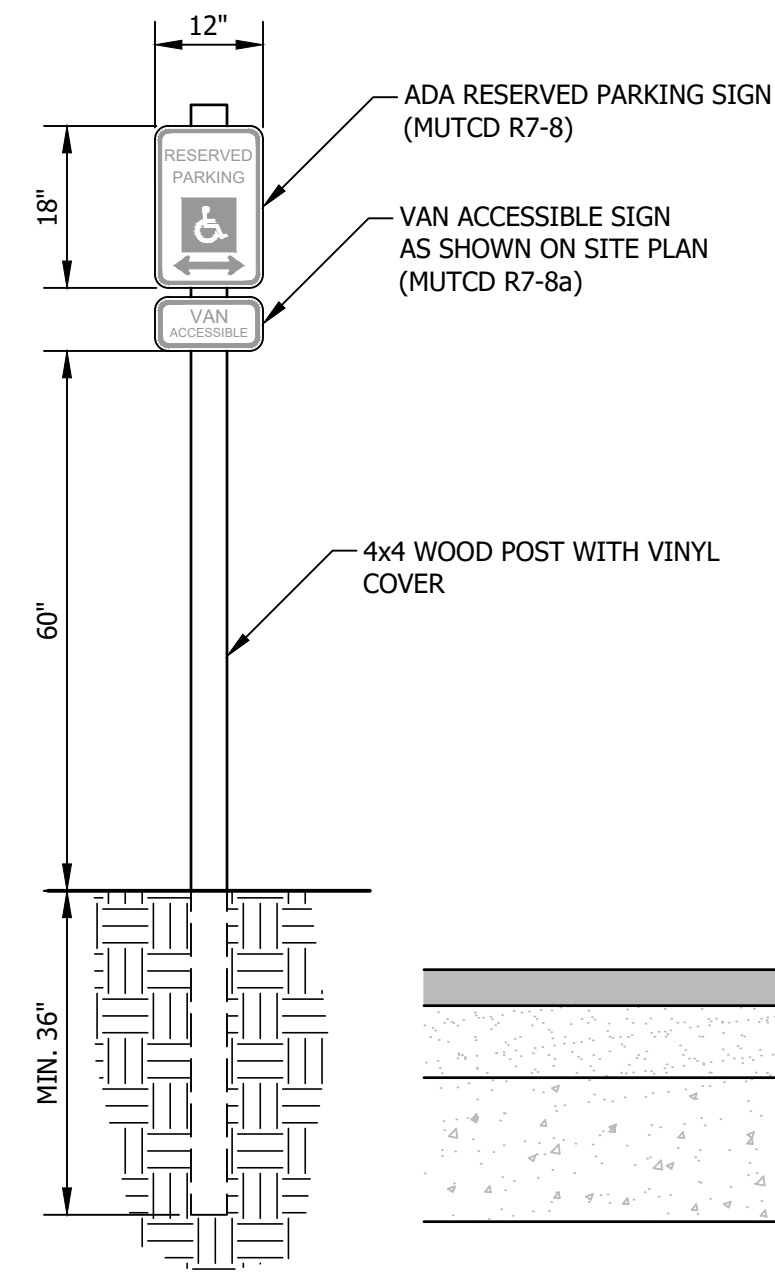
- NOTES:
1. SEE SITE PLAN FOR STRIPING LAYOUT

PAVEMENT MARKINGS:

1. STRIPE PARKING AREAS AND DRIVES AS SHOWN, INCLUDING PARKING SPACES, HANDICAP SYMBOLS, AND PAINTED ISLANDS. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDT) AND AASHTO M248 TYPE "F". MEDIAN ISLANDS AND CENTERLINES TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT.
2. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", THE "STANDARD ALPHABETS FOR HIGHWAY SIGN AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
3. PAINTED ISLANDS SHALL BE 4 INCH WIDE DIAGONAL LINES SPACED AT 3 FT. O.C. BORDERED BY 4 INCH WIDE LINES.
4. MAXIMUM SLOPE OF ADA PARKING IS 2%

ADA PARKING AND SIGNAGE DETAIL

NOT TO SCALE



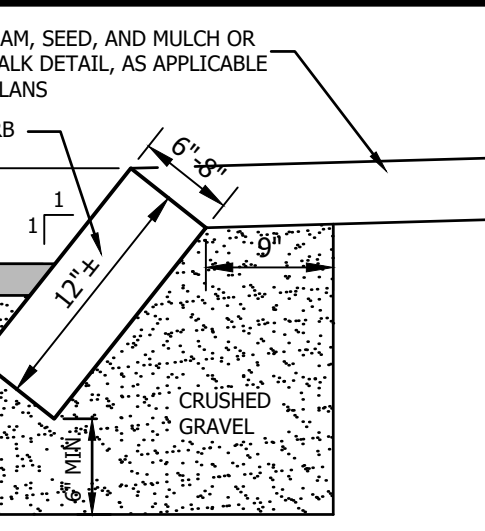
TYPICAL PAVEMENT SECTION

NOT TO SCALE

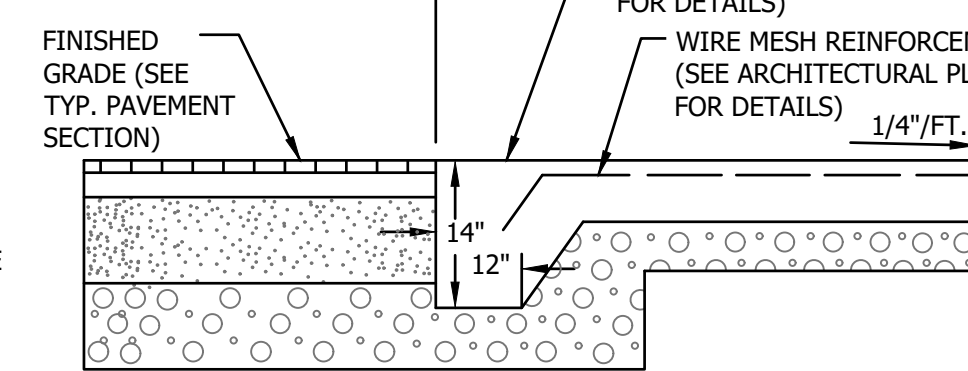
RADIUS	MAX. LENGTH
2'	USE CURVED CURB
2' - 15'	USE RADIAL JOINTS
16' - 28'	1.5'
29' - 41'	2'
42' - 55'	3'
56' - 68'	4'
69' - 82'	5'
83' - 96'	6'
97' - 110'	7'
OVER 110'	8'

SLOPED GRANITE CURB

NOT TO SCALE

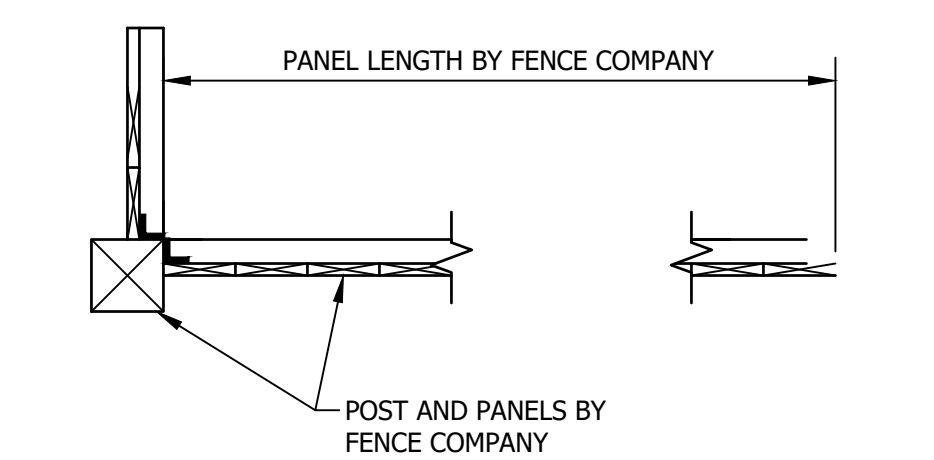


NOTE:
ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH
MIN. LENGTH OF STRAIGHT CURB STONES = 1.5'
MAX. LENGTH OF STRAIGHT CURB STONES = 8'
SEE CHART FOR MAX. LENGTH OF STRAIGHT CURB STONES LAID ON CURVES

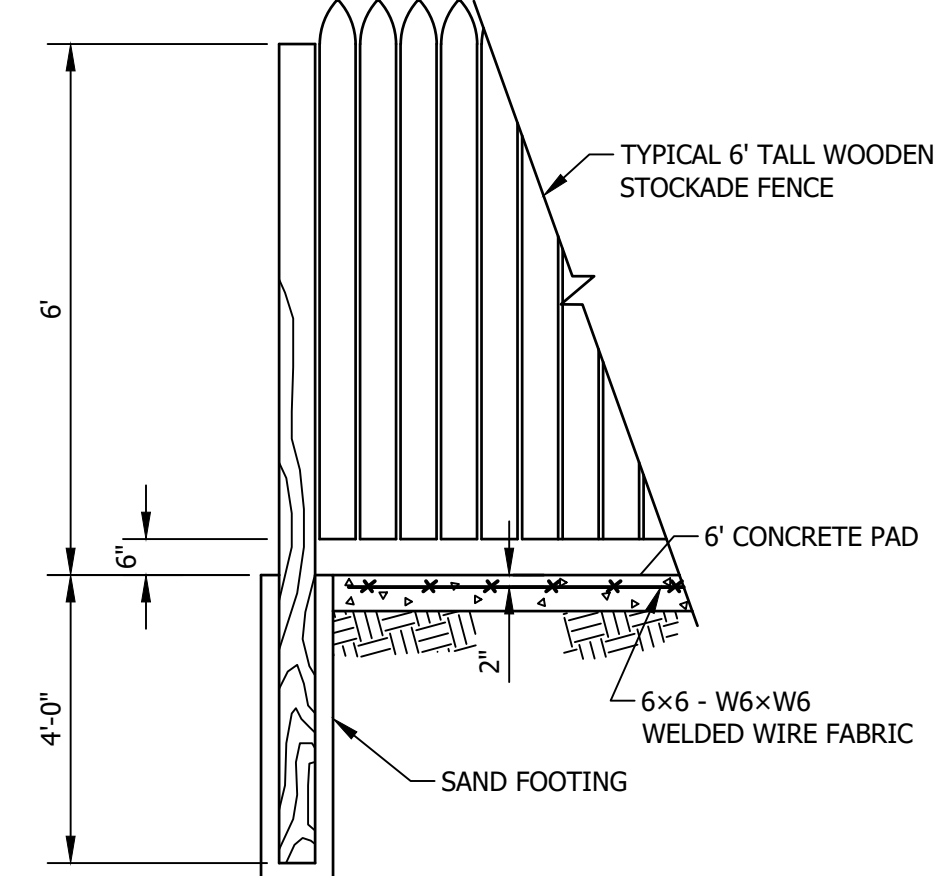


PCC SIDEWALK DETAIL

NOT TO SCALE



PLAN VIEW



ELEVATION VIEW

DUMPSTER ENCLOSURE

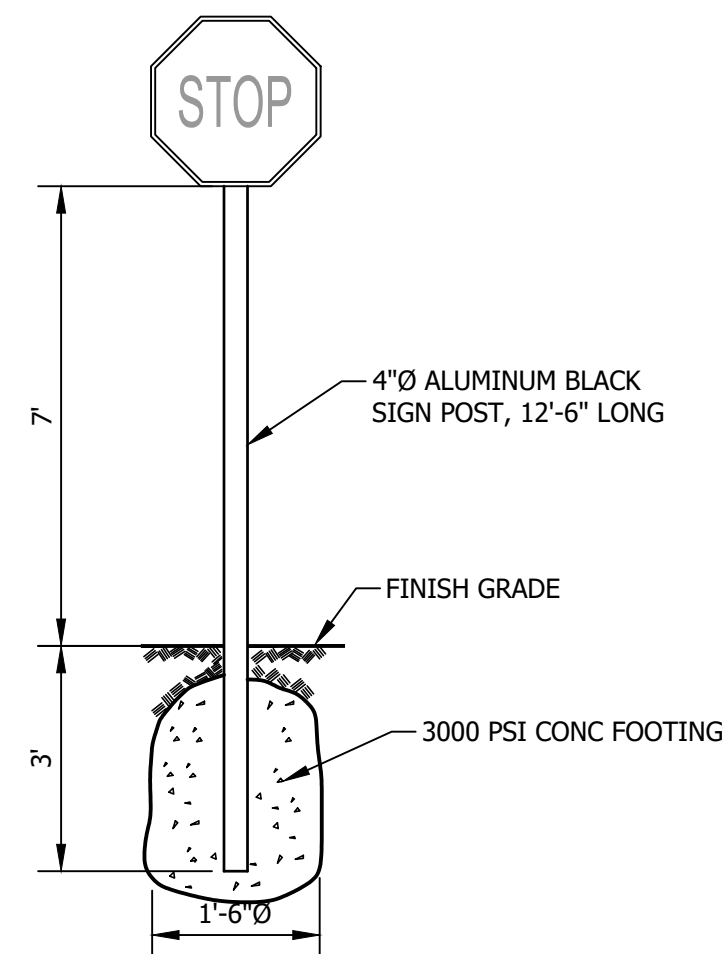
NOT TO SCALE

ITEM NO.	SIGN SIZE		TEXT	NO. SIGNS REQ'D
	HEIGHT	WIDTH		
R7-8	18"	12"	RESERVED PARKING	1
R7-8a	9"	18"	VAN ACCESSIBLE	1

- NOTES:
1. ALL SIGNS SHALL BE PER "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
 2. ALL FREE STANDING SIGNS TO BE MOUNTED AT A MINIMUM HEIGHT OF 7' FROM THE EXISTING GRADE TO THE BOTTOM OF THE SIGN

SIGN SCHEDULE

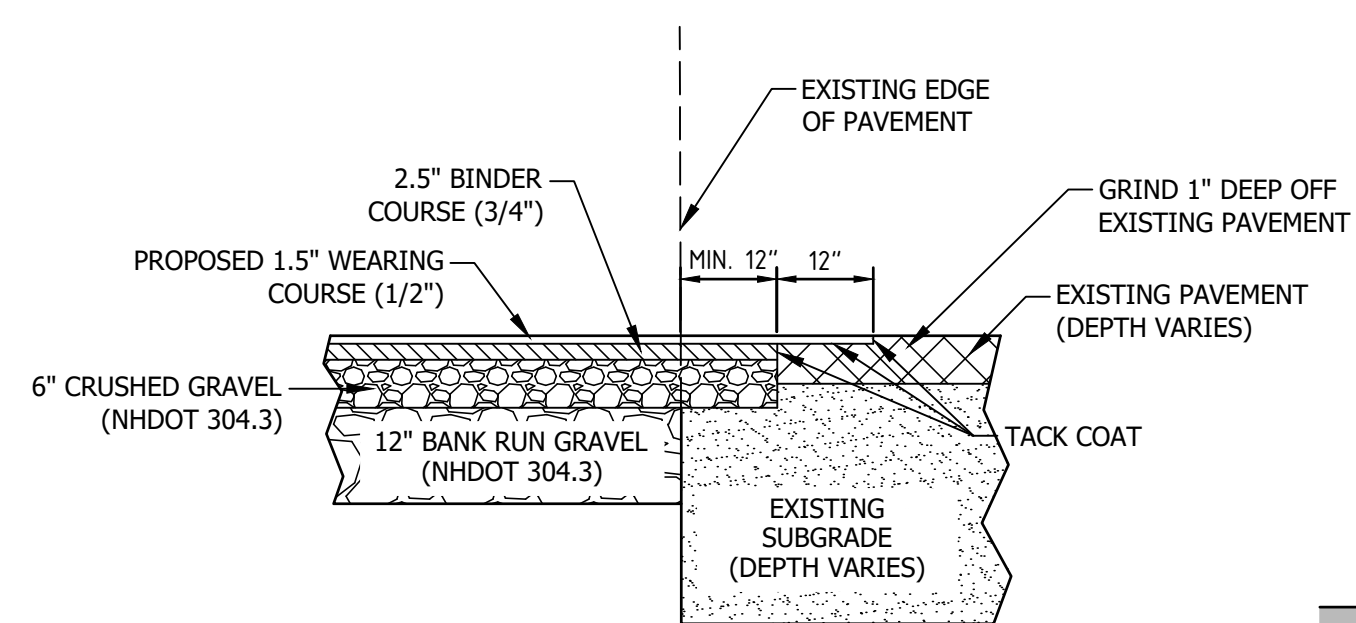
NOT TO SCALE



- NOTES:
1. SEE PLANS FOR SIGN PLACEMENT.

TYPICAL POLE MOUNTED SIGN DETAIL

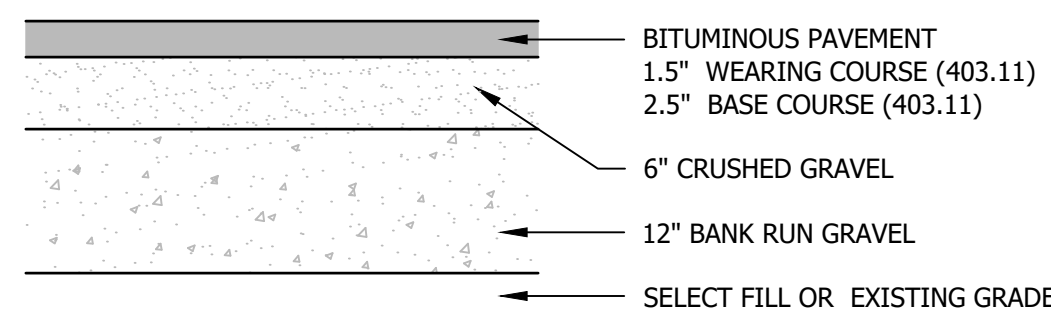
NOT TO SCALE



- NOTES:
1. SAWCUT THROUGH DEPTH OF PAVEMENT AT LEAST 1 FT. FROM EDGE OR GREATER IF REQUIRED BY NHDT.
 2. INSTALL AND COMPACT CRUSHED GRAVEL TO GRADE.
 3. PLACE BINDER COURSE.
 4. GRIND EXISTING PAVEMENT 1 FT. WIDE TO A DEPTH NECESSARY TO PROPERLY MATCH NEW WEARING COURSE PAVEMENT.
 5. TACK COAT ALL EXISTING PAVEMENT SURFACES WITH EMULSIFIED ASPHALT (MS-1) PRIOR TO PLACING NEW PAVEMENT.

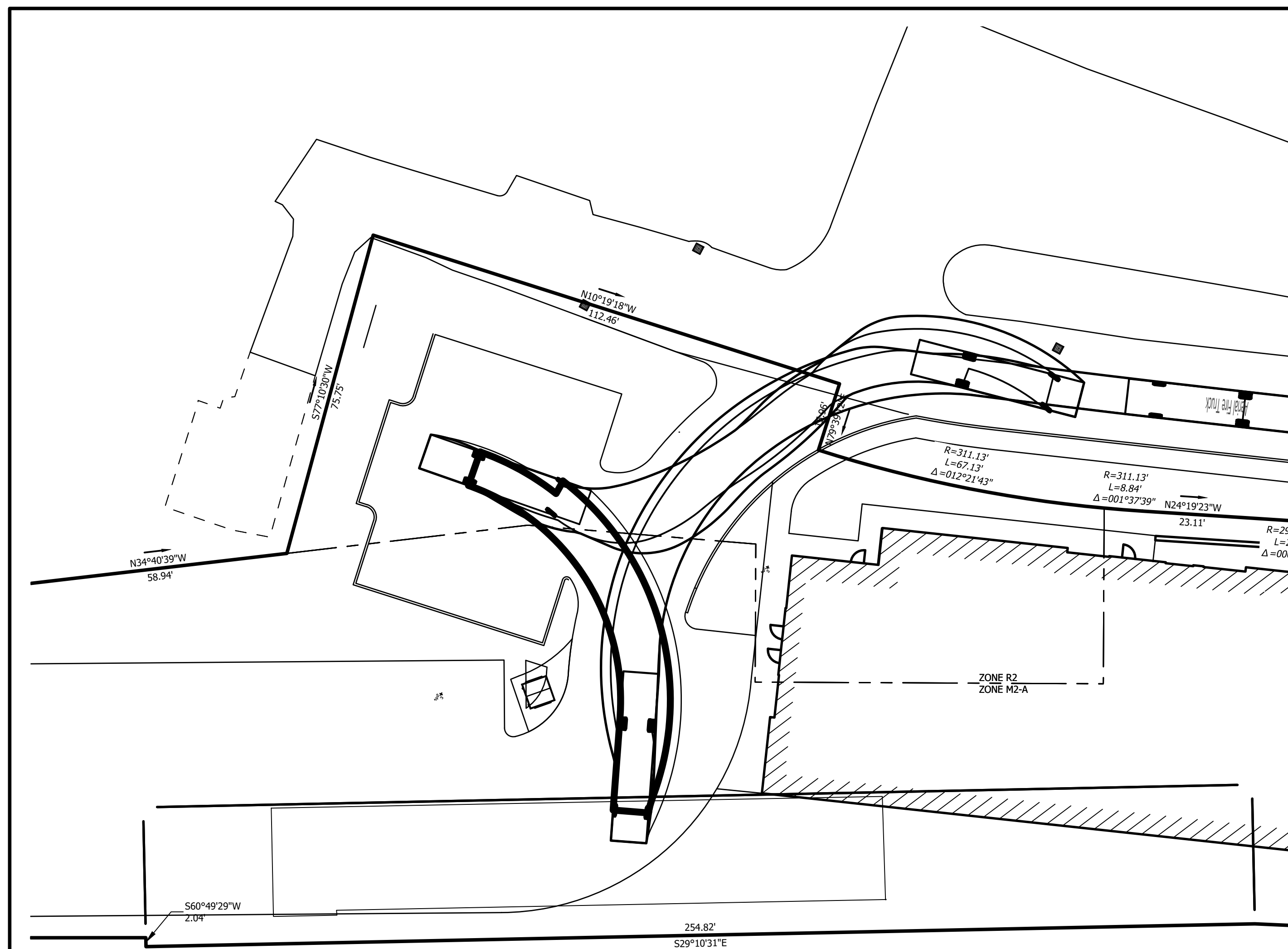
TYPICAL PAVEMENT SAWCUT DETAIL

NOT TO SCALE



STREET-CUT PATCHING SECTION

NOT TO SCALE



FIRE TRUCK TURNING EXHIBIT

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NEWMARKET LLC**
3 RAIL ROAD STREET
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CONSTRUCTION DETAILS

NO.	DATE	REVISION DESCRIPTION	ENG.	DWG.

DATE: 10.17.23	PROJECT #: 230750
ENG'D BY: TAL	DRAWN BY: TAL
CHECK'D BY: MJS	ARCHIVE #: H-___
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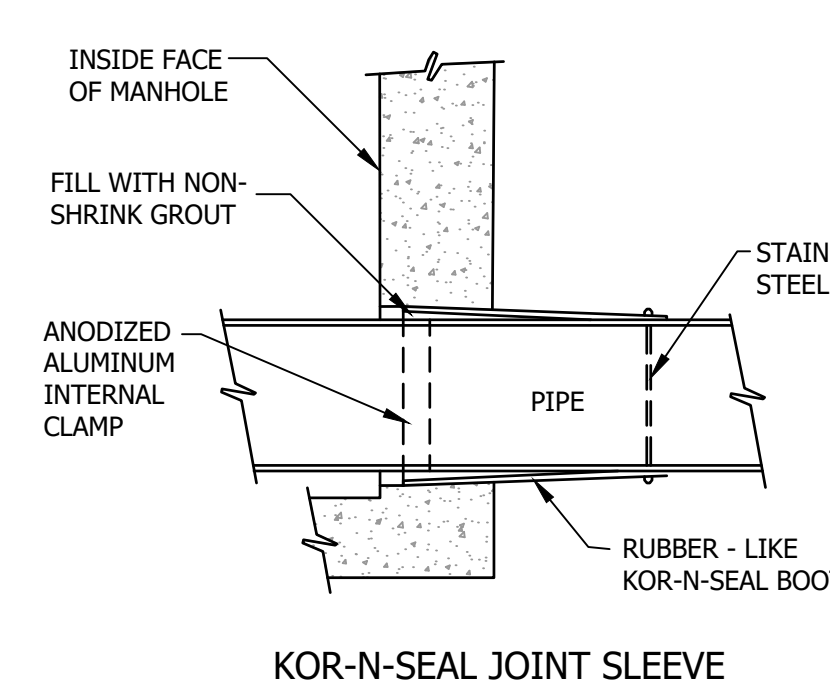
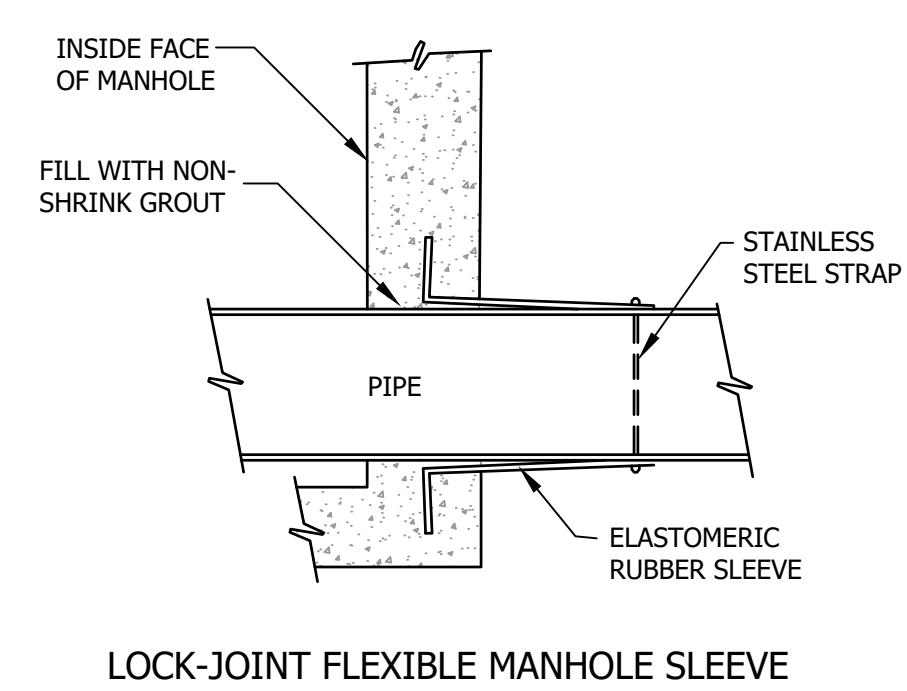
SEWER NOTES

- GENERAL**
CONSTRUCTION OF ALL COMPONENTS OF THE SANITARY SEWER SYSTEM SHALL CONFORM TO THE MOST CURRENT VERSION OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES ENV-WQ 700 AND ARTICLE III OF THE MUNICIPAL CODE OF THE TOWN OF NEWMARKET, NEW HAMPSHIRE.
- TYPES OF SEWERS**
 - THERE SHALL BE NO CONNECTION BETWEEN SANITARY SEWERS AND STORM SEWERS.
 - RUNOFF FROM ROOFS, STREETS, AND OTHER AREAS AND GROUNDWATER FROM FOUNDATION DRAINS, SUMP PUMPS, OR OTHER SURFACE DRAINS SHALL BE EXCLUDED FROM SANITARY SEWERS.
- SEWER SIZE AND COVER**
 - MINIMUM PIPE SIZE FOR GRAVITY SEWER MAINS SHALL BE 8 INCHES.
 - MINIMUM PIPE SIZE FOR GRAVITY SEWER SERVICES SHALL BE 4 INCHES.
 - MINIMUM PIPE SIZE FOR FORCE MAIN SEWER SERVICES SHALL BE 2 INCHES.
 - SANITARY SEWERS SHALL HAVE 6 FEET MINIMUM COVER IN ALL ROADWAY LOCATIONS AND 4 FEET MINIMUM COVER IN ALL CROSS-COUNTRY LOCATIONS.
- PIPE AND FITTING MATERIALS:**
 - DUCTILE IRON PIPE**
DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION:
(1) AWWA C151 FOR DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL OR SAND LINED MOLDS, FOR WATER OR OTHER LIQUIDS;
(2) AWWA C150 FOR THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A 536 IRON CASTINGS; AND
(3) JOINTS SHALL BE MECHANICAL TYPE, PUSH-ON TYPE, OR BALL-AND-SOCKET TYPE;
 - PVC (POLY VINYL CHLORIDE) PIPE**
PVC PIPE AND FITTINGS SHALL BE APPROVED FOR SEWAGE SERVICE AND CONFORM TO THE FOLLOWING:
(1) PVC PIPE USED FOR GRAVITY SEWERS SHALL BE TYPE SDR 35 CONFORMING TO ASTM D3034;
(2) PVC PIPE USED FOR FORCE MAINS SHALL BE TYPE SDR 26 CONFORMING TO ASTM D2241 OR ASTM D1785;
(3) JOINTS SHALL BE PUSH-ON, BELL-AND-SPIGOT TYPE HAVING OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D3212.

- BEDDING**
PIPE BEDDING SHALL BE SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM ORGANIC MATTER, CLAY, AND/OR LOAM MEETING ASTM C33 STONE SIZE NO. 67.
- | | |
|-----------------|-----------------|
| 100% PASSING | 1 INCH SCREEN |
| 90-100% PASSING | 3/4 INCH SCREEN |
| 20-55% PASSING | 3/8 INCH SCREEN |
| 0-10% PASSING | #4 SIEVE |
| 0-5% PASSING | #8 SIEVE |

- MANHOLES**
 - PRECAST CONCRETE BARREL SECTIONS, CONES, AND BASES SHALL CONFORM TO ASTM C478.
 - MANHOLES SHALL BE DESIGNED FOR H-20 LOADING.
 - HORIZONTAL JOINTS BETWEEN BARREL SECTIONS SHALL BE OF AN OVERLAPPING TYPE WHICH SHALL DEPEND UPON A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT FOR WATER TIGHTNESS.
 - PIPE TO MANHOLE JOINTS SHALL BE AS FOLLOWS:
(1) ELASTOMERIC, RUBBER SLEEVE WITH WATERTIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES;
(2) CAST INTO THE WALL OR SECURED WITH STAINLESS STEEL CLAMPS;
(3) ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING; AND
(4) NON-SHRINK GROUTED JOINTS WHERE WATERTIGHT BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.
 - MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. INVERTS AND SHELVES SHALL BE PLACED AFTER TESTING.

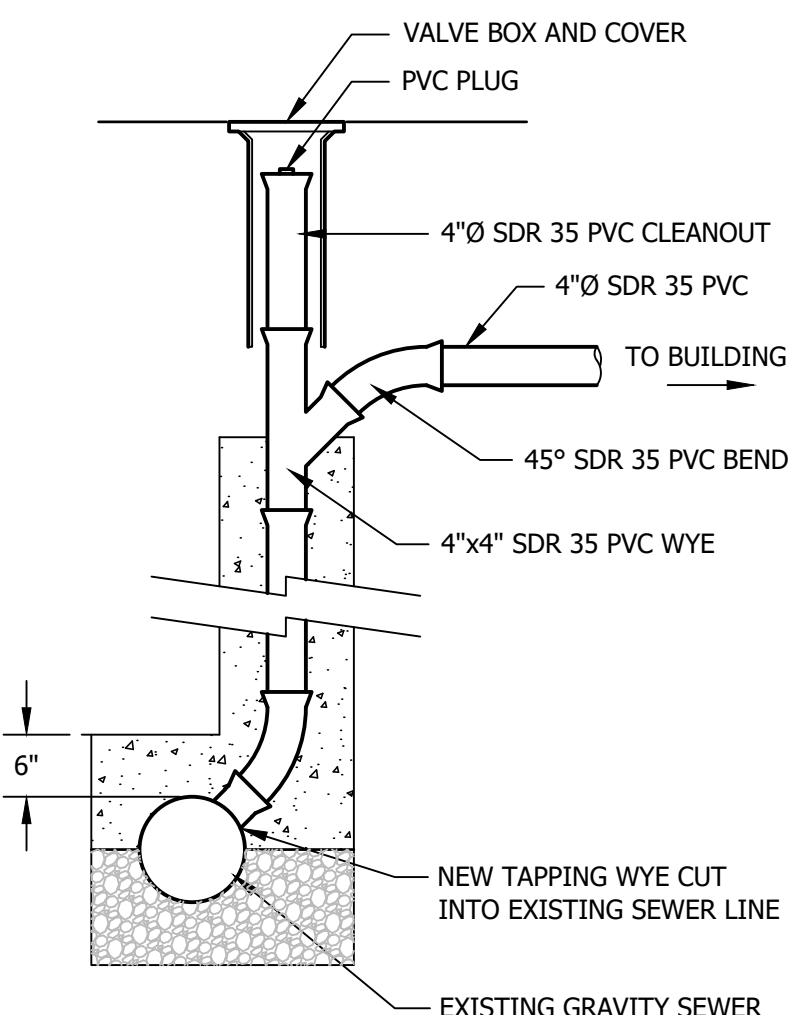
- PROTECTION OF WATER SUPPLIES**
 - THERE SHALL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE WATER SUPPLY SYSTEM AND A SEWER OR SEWER APPURTENANCE WHICH WOULD PERMIT THE PASSAGE OF SEWAGE OR POLLUTED WATER INTO THE POTABLE SUPPLY. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE.
 - NO SEWER SHALL BE LOCATED WITHIN THE WELL PROTECTIVE RADIUS ESTABLISHED IN ENV-WS 300 FOR ANY PUBLIC WATER SUPPLY WELLS OR WITHIN 100 FEET OF ANY PRIVATE WATER SUPPLY WELL.
 - SEWERS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN.
 - A DEVIATION FROM THE SEPARATION REQUIREMENTS OF (B) OR (C) ABOVE SHALL BE ALLOWED WHERE NECESSARY TO AVOID CONFLICT WITH SUBSURFACE STRUCTURES, UTILITY CHAMBERS, AND BUILDING FOUNDATIONS, PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENTS SPECIFIED IN ENV-WQ 704.06.
 - WHenever sewers must cross water mains, the sewer shall be constructed as follows:
(1) VERTICAL SEPARATION OF THE SEWER AND WATER MAIN SHALL BE NOT LESS THAN 18 INCHES, WITH WATER ABOVE SEWER; AND
(2) SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.



JOINTING DETAILS
NOT TO SCALE

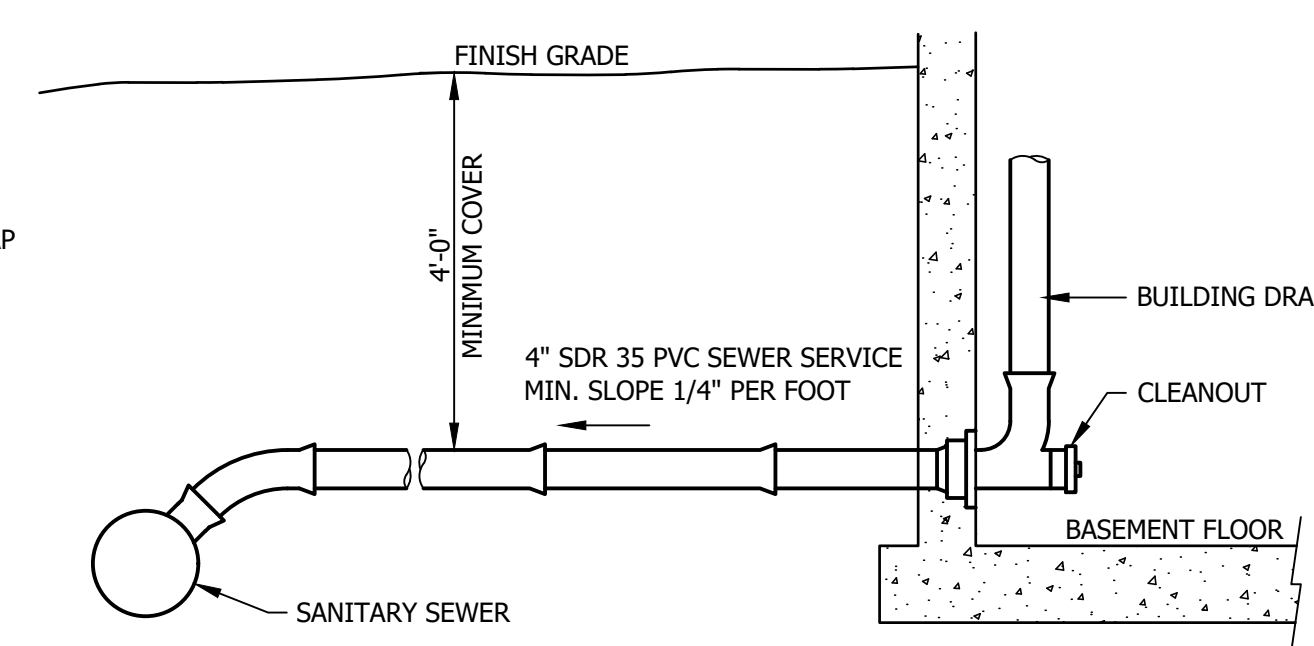
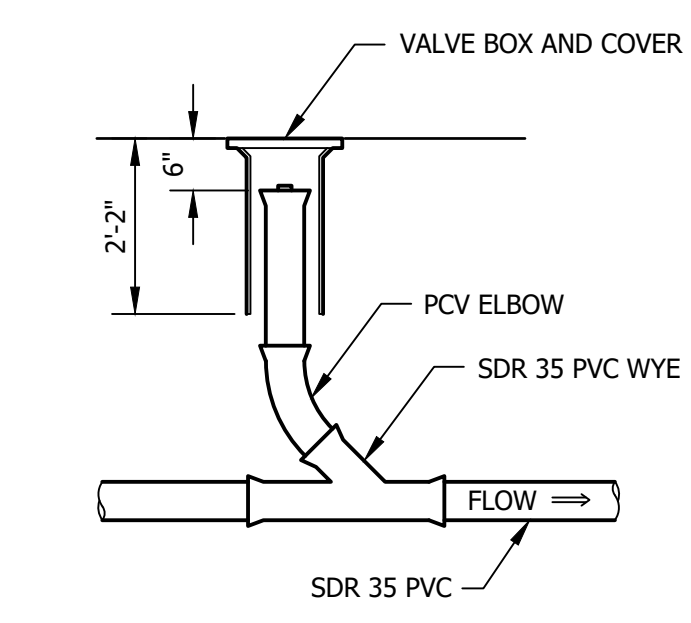
STANDARD TRENCH NOTES - SEWER

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL** BELOW GRADE SHALL BE REPLACED WITH BEDDING MATERIAL. SEE ALSO NOTE 4.
 - BEDDING:** SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM ORGANIC MATTER, CLAY, AND/OR LOAM MEETING ASTM C33 STONE SIZE NO. 67.
- | | |
|-----------------|-----------------|
| 100% PASSING | 1 INCH SCREEN |
| 90-100% PASSING | 3/4 INCH SCREEN |
| 20-55% PASSING | 3/8 INCH SCREEN |
| 0-10% PASSING | #4 SIEVE |
| 0-5% PASSING | #8 SIEVE |
- SAND BLANKET:** CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% PASSES A #200 SIEVE.
 - SUITABLE MATERIAL:** IN ROADS, ROAD SHOULDERS, WALKWAYS, AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED FROM THE TRENCH DURING THE COURSE OF CONSTRUCTION, AFTER EXCLUDING DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL NOT APPROVED BY THE ENGINEER.
TRENCH BACKFILL IN CROSS-COUNTRY LOCATIONS SHALL BE SUITABLE MATERIAL AS DESCRIBED ABOVE, EXCEPT THAT TOP SOIL, LOAM, MUCK, OR PEAT MAY BE USED PROVIDED THAT THE COMPLETED CONSTRUCTION WILL BE STABLE AND ACCESS TO THE PIPE FOR MAINTENANCE AND RECONSTRUCTION IS PRESERVED. BACKFILL SHALL BE MOUND TO A HEIGHT OF SIX INCHES ABOVE THE ORIGINAL GROUND SURFACE.
 - BASE COURSE FOR TRENCH REPAIR** SHALL MEET THE REQUIREMENTS OF SECTION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
 - SHEETING:** ALL TRENCH SUPPORTS SHALL CONFORM TO OSHA STANDARDS. CONTRACTOR IS RESPONSIBLE FOR OSHA COMPLIANCE AND WORKER SAFETY THROUGHOUT CONSTRUCTION.
 - TRENCH DIMENSIONS:** W = MAXIMUM ALLOWABLE TRENCH WIDTH MEASURED 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER (D) OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS THE PIPE OUTSIDE DIAMETER. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE. THE MAXIMUM ALLOWABLE TRENCH PAVEMENT PAYMENT WIDTH SHALL BE 8 FEET CENTERED OVER PIPE.
 - PIPE INSULATION AT STORM DRAIN CROSSING:** INSTALL 2" THICK RIGID FOAM INSULATION OVER SEWER AT STORM DRAIN CROSSINGS, EXTEND INSULATION 4 FEET EITHER SIDE OF STORM DRAIN ALONG SEWER.



- IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED AT THE CONNECTION.

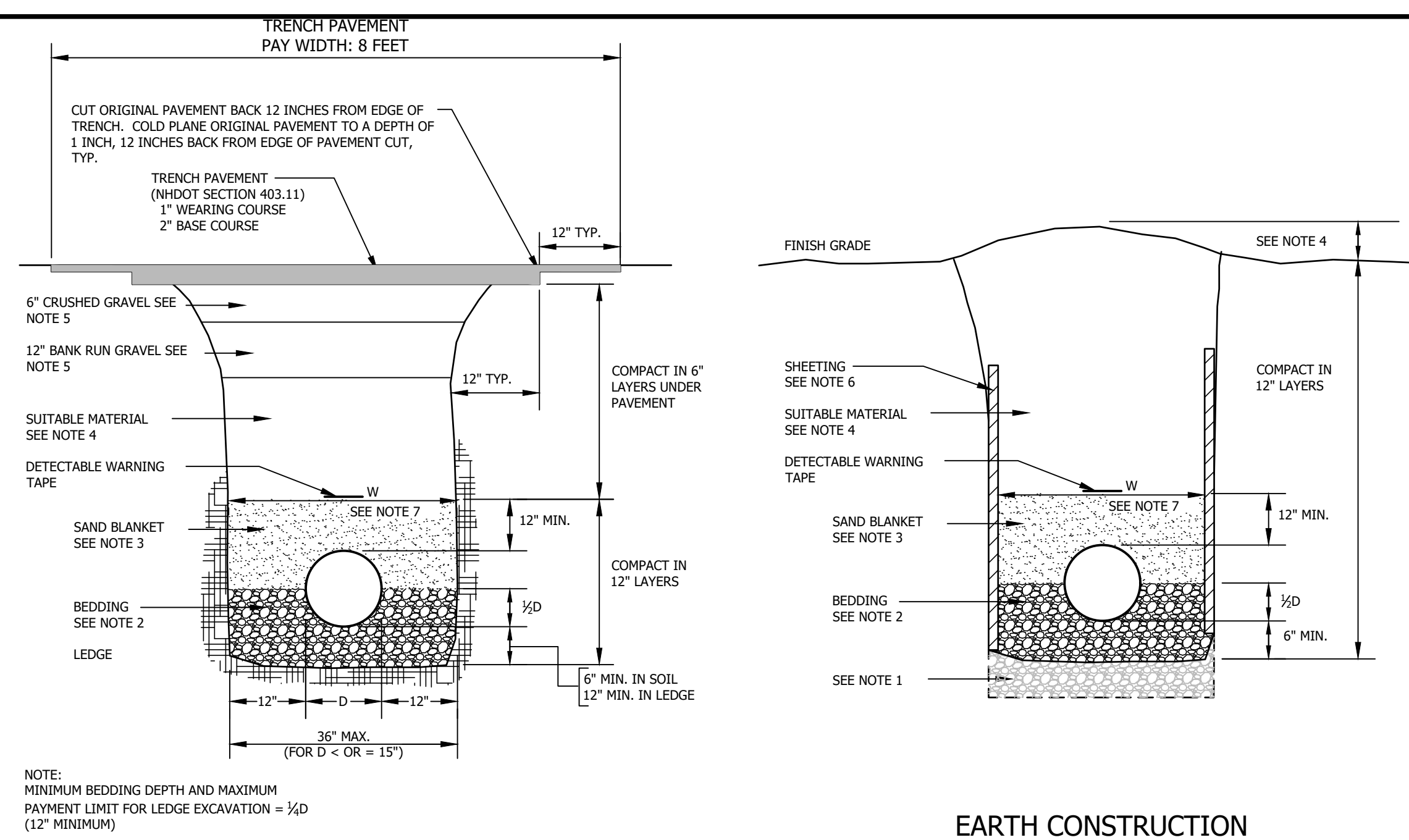
CHIMNEY AT NEW SEWER CONNECTION
NOT TO SCALE



SEWER SERVICE DETAIL
NOT TO SCALE

STANDARD TRENCH NOTES - WATER

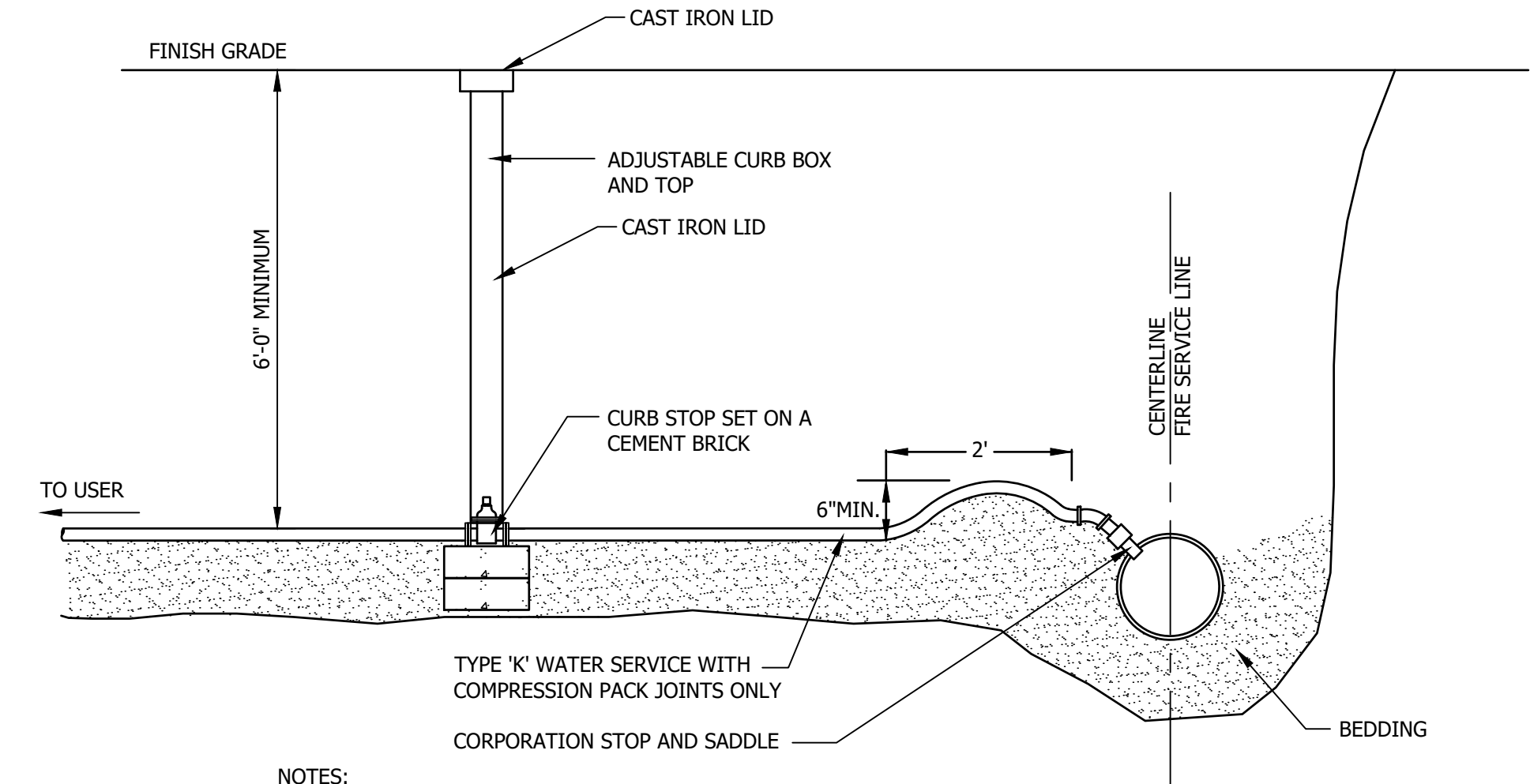
- ORDERED EXCAVATION OF UNSUITABLE MATERIAL** BELOW GRADE SHALL BE REPLACED WITH BEDDING MATERIAL. SEE ALSO NOTE 4.
 - BEDDING:** SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM ORGANIC MATTER, CLAY, AND/OR LOAM MEETING ASTM C33 STONE SIZE NO. 67.
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- SAND BLANKET:** CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% PASSES A #200 SIEVE.
 - SUITABLE MATERIAL:** IN ROADS, ROAD SHOULDERS, WALKWAYS, AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED FROM THE TRENCH DURING THE COURSE OF CONSTRUCTION, AFTER EXCLUDING DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL NOT APPROVED BY THE ENGINEER.
TRENCH BACKFILL IN CROSS-COUNTRY LOCATIONS SHALL BE SUITABLE MATERIAL AS DESCRIBED ABOVE, EXCEPT THAT TOP SOIL, LOAM, MUCK, OR PEAT MAY BE USED PROVIDED THAT THE COMPLETED CONSTRUCTION WILL BE STABLE AND ACCESS TO THE PIPE FOR MAINTENANCE AND RECONSTRUCTION IS PRESERVED. BACKFILL SHALL BE MOUND TO A HEIGHT OF SIX INCHES ABOVE THE ORIGINAL GROUND SURFACE.
 - BASE COURSE FOR TRENCH REPAIR** SHALL MEET THE REQUIREMENTS OF SECTION 300 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
 - SHEETING:** ALL TRENCH SUPPORTS SHALL CONFORM TO OSHA STANDARDS. CONTRACTOR IS RESPONSIBLE FOR OSHA COMPLIANCE AND WORKER SAFETY THROUGHOUT CONSTRUCTION.
 - TRENCH DIMENSIONS:** W = MAXIMUM ALLOWABLE TRENCH WIDTH MEASURED 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER (D) OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS THE PIPE OUTSIDE DIAMETER. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE. THE MAXIMUM ALLOWABLE TRENCH PAVEMENT PAYMENT WIDTH SHALL BE 8 FEET CENTERED OVER PIPE.
 - WATER/SEWER SEPARATION:** WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWER BY A MINIMUM OF 10 FEET HORIZONTALLY AND A MINIMUM OF 18 INCHES VERTICALLY, WITH THE WATER MAIN ABOVE THE SEWER.
 - PIPE COVER:** COVER OVER WATER SHALL BE 6 FEET MINIMUM IN ALL LOCATIONS.



LEDGE/SUB PAVEMENT CONSTRUCTION
STANDARD TRENCH SECTIONS
NOT TO SCALE

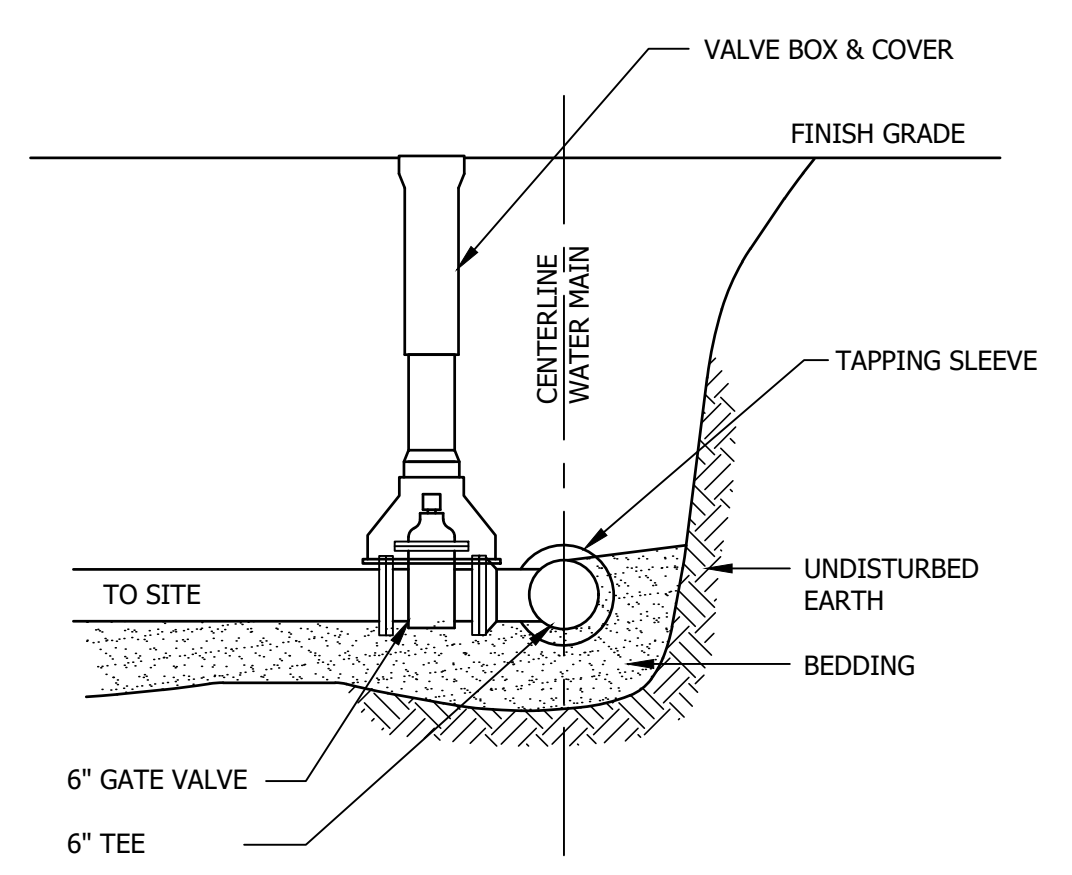
WATER SUPPLY NOTES

- GENERAL**
BUILD THE WATER SUPPLY SYSTEM IN CONFORMANCE WITH THE MOST CURRENT VERSION OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES, NEWMARKET'S WATER USE RULES, REGULATIONS AND CONSTRUCTION SPECIFICATIONS, AND CHAPTER 31 OF THE MUNICIPAL CODE OF THE TOWN OF NEWMARKET, NEW HAMPSHIRE.
- PIPE AND FITTING MATERIALS:** PIPES WITH DIAMETERS GREATER THAN 2 INCHES MUST BE PVC OR PVCU COMPLYING WITH AWWA C900 OR C909 RESPECTIVELY. ALL PIPES MUST HAVE A PRESSURE RATING OF 200 PSI OR GREATER.
- JOINT RESTRAINT:** USE MECHANICALLY RESTRAINED JOINTS FOR THE ENTIRE LENGTH OF THE NEW 4" PVC FIRE SERVICE LINE.
- PRESSURE TESTING:** PRESSURE TEST IN ACCORDANCE WITH NEWMARKET DPW REQUIREMENTS OR ANSI/AWWA C600 IF AHJ DOES NOT HAVE A PREFERRED METHOD OF TESTING. MINIMUM TEST PRESSURE IS 1.5 x MAXIMUM SYSTEM PRESSURE OR 100 PSI, WHICHEVER IS GREATER.
- DISINFECTION:** DISINFECT WATER MAIN AND DOMESTIC SERVICES IN ACCORDANCE WITH NEWMARKET REQUIREMENTS AND ANSI/AWWA C651.



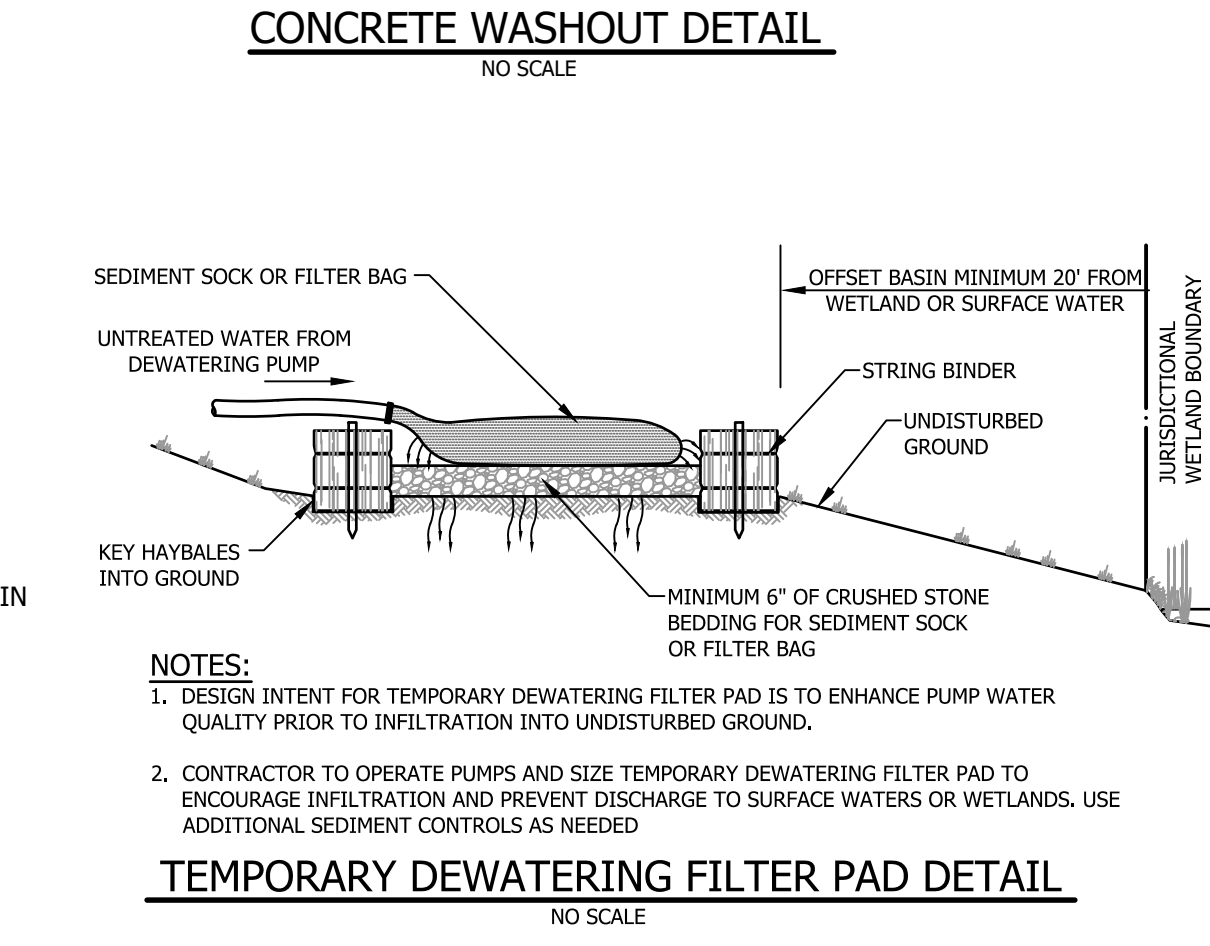
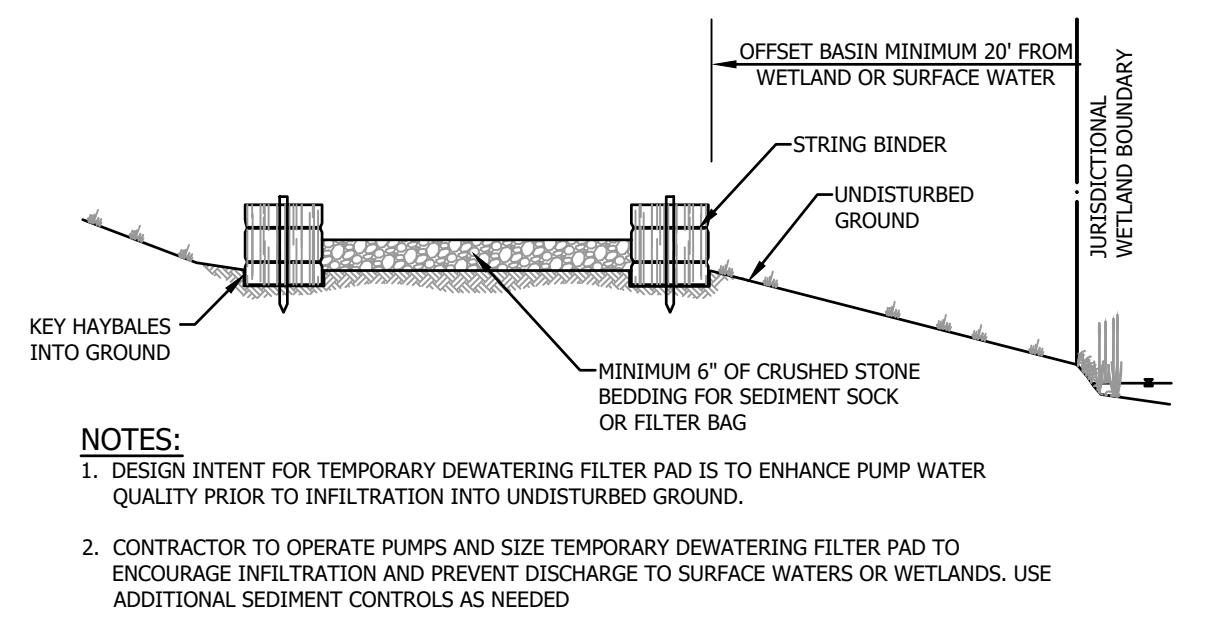
- NOTES:
- INSTALL 2" BALL VALVE CURB STOP, MUELLER 300 SERIES, FORD Z SERIES OR APPROVED EQUAL.
 - CURB BOX MUST BE INSTALLED PLUMB AND FLUSH WITH FINAL GRADE.
 - DO NOT PLACE ANY OBSTRUCTION WITHIN 4 FEET OF THE CURB BOX THAT WOULD OBSTRUCT USE OF THE VALVE.

DOMESTIC WATER SERVICE CONNECTION
NOT TO SCALE



- NOTES:
- ALL CONNECTIONS MUST USE FULLY RESTRAINED MECHANICAL JOINTS.
 - DO NOT REDUCE SIZE OF WATER PIPE FROM 6" TO 4" UNTIL OUTSIDE OF PAVED ROAD.

WATER MAIN TAPPING DETAIL
NOT TO SCALE



TEMPORARY DEWATERING FILTER PAD DETAIL
NO SCALE

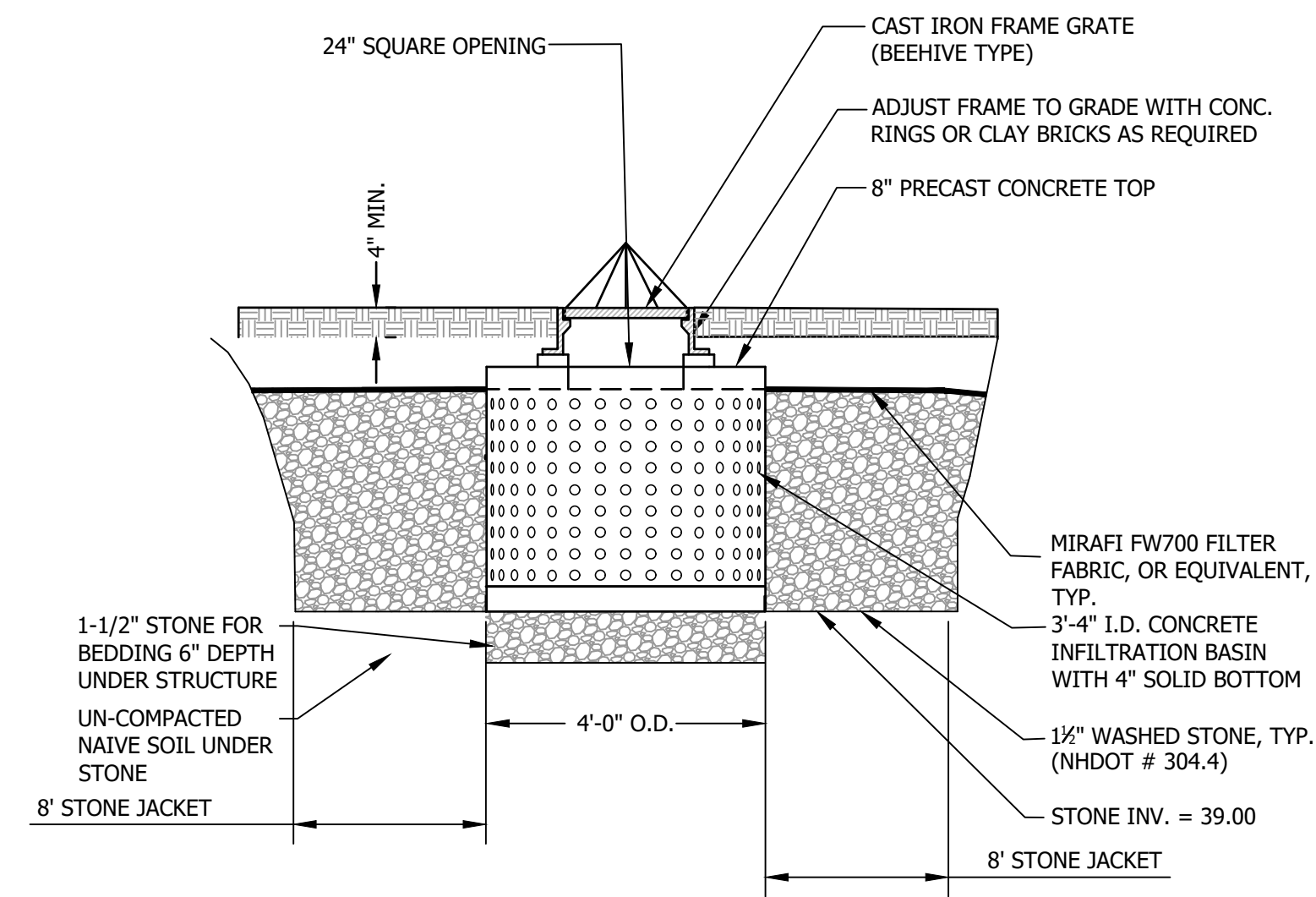
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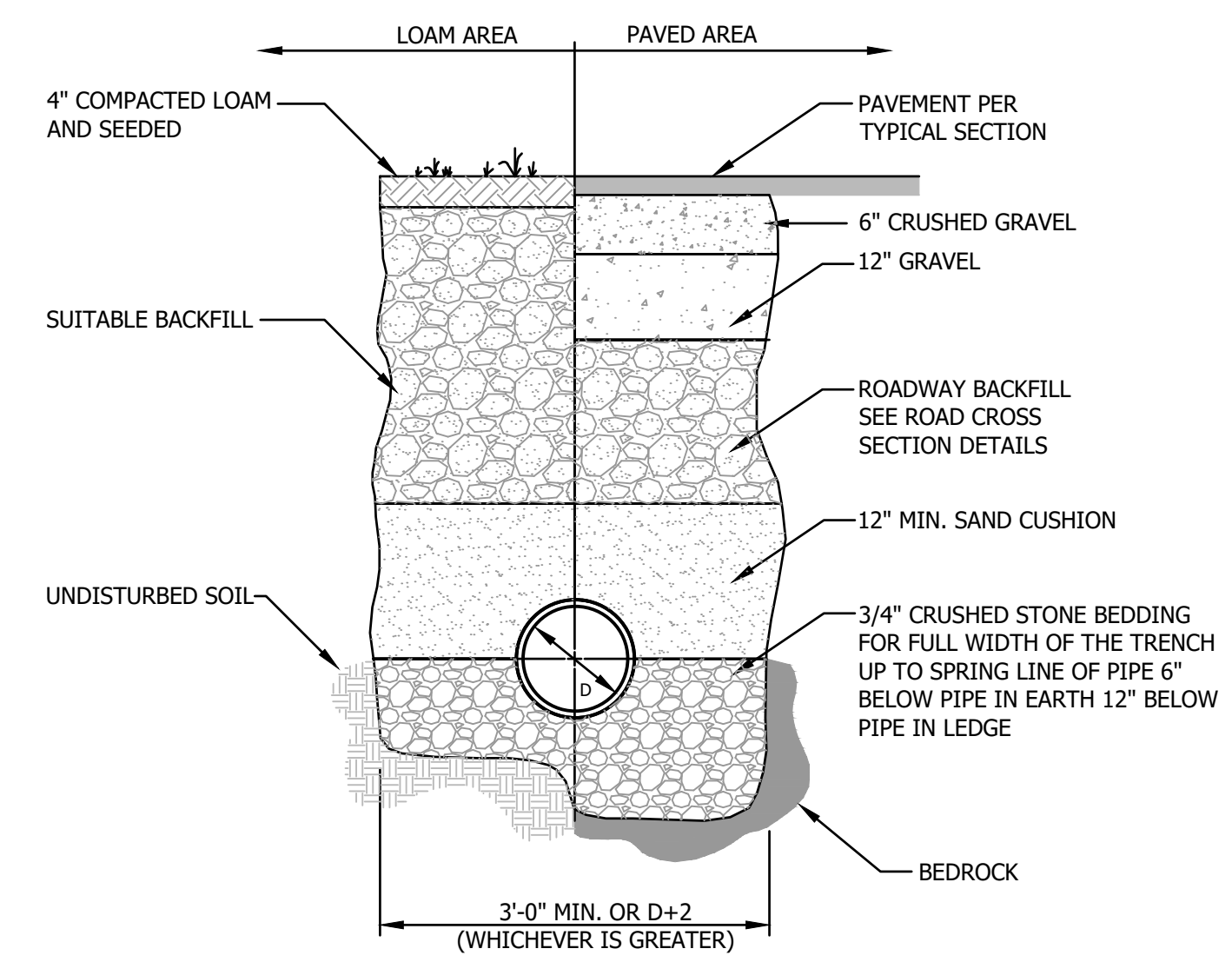
UTILITY DETAILS

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

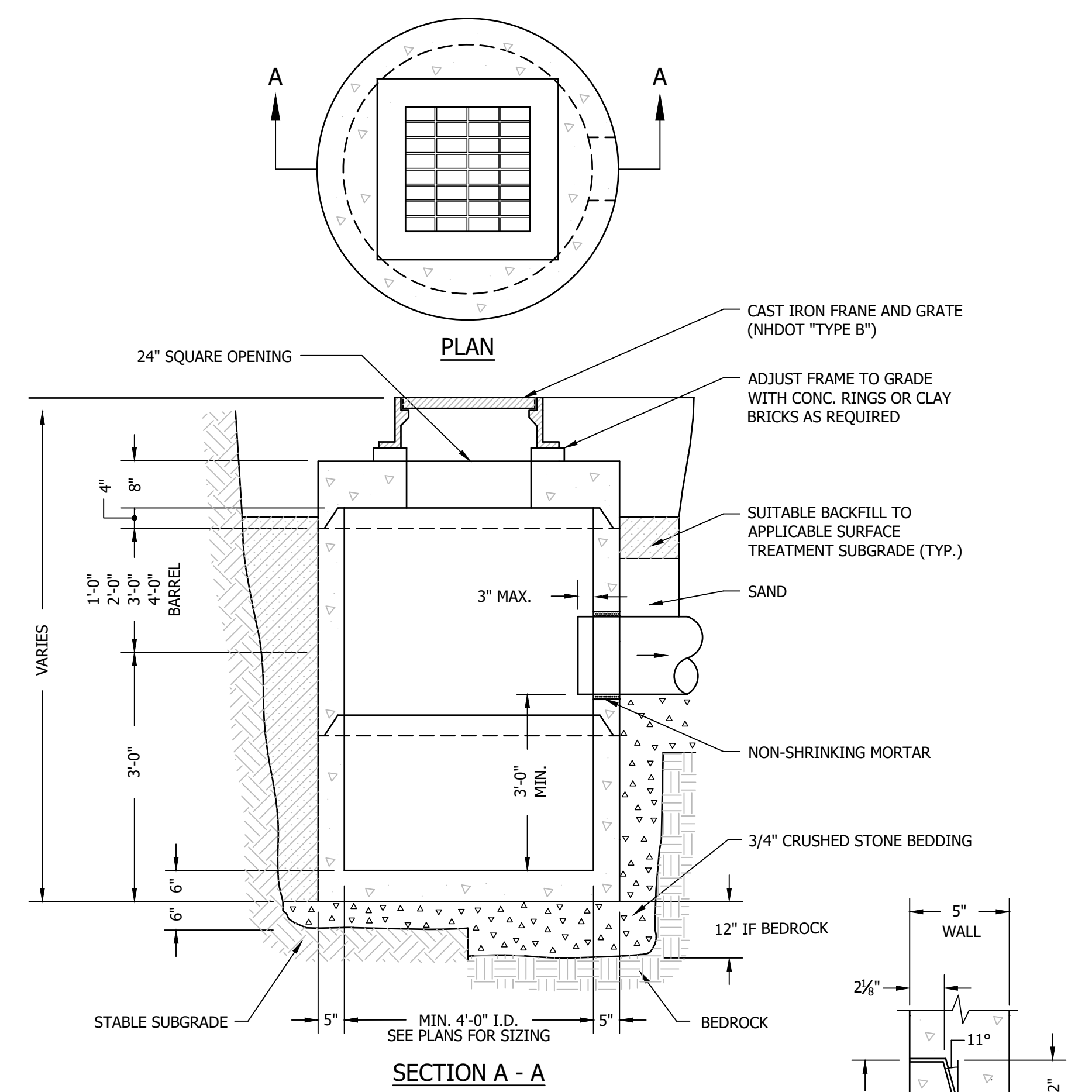
DATE:	PROJECT #:
10.17.23	230750
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MJS	H---
C503	



DRYWELL DETAIL
NOT TO SCALE



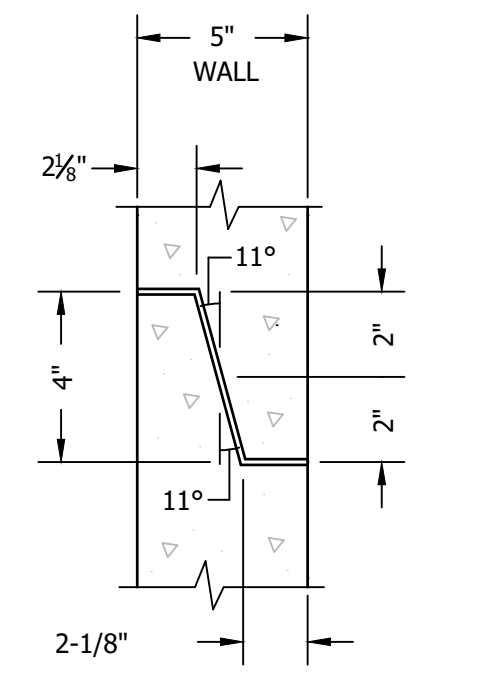
TYPICAL DRAINAGE TRENCH DETAIL
NOT TO SCALE



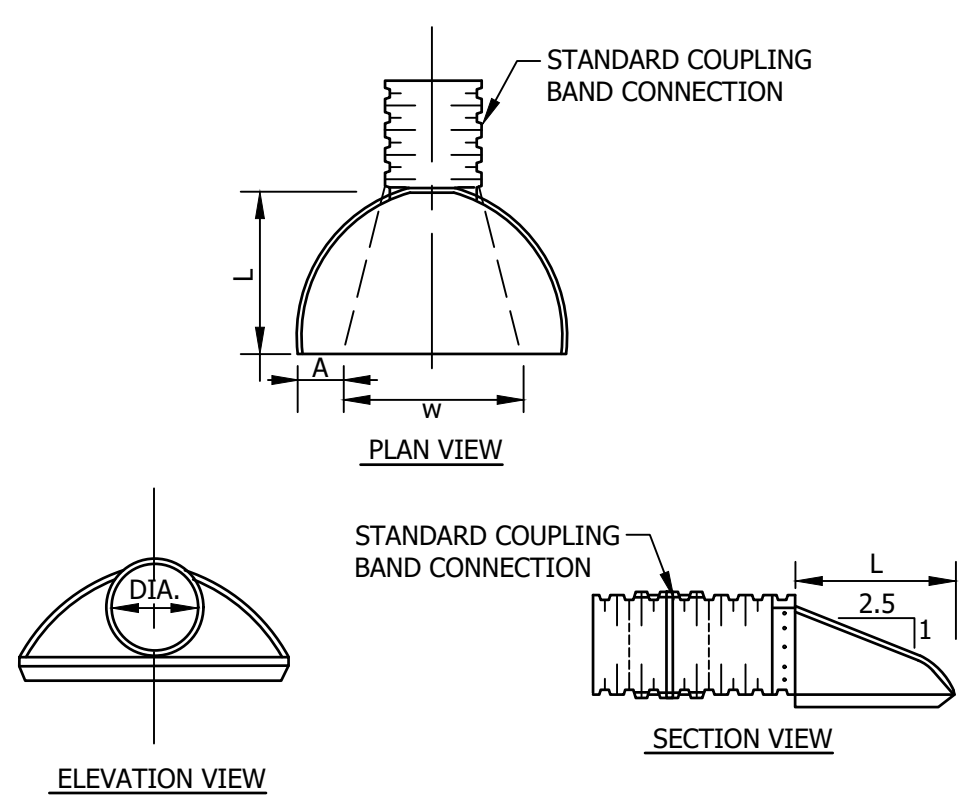
NOTES:

- CONCRETE SHALL BE 4,000 P.S.I. AFTER 28 DAYS.
- REINFORCING H-20 LOADING 4 x 4/4 x 4 W.W.M.
- SHIP LAP JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUIVALENT TO 0.12 SQ. IN. PER LINEAR FT. AND SHALL BE SEALED WITH 1 STRIP OF 1\"/>
- EACH CASTING TO HAVE LIFTING HOLES CAST IN.

TYPICAL CATCH BASIN DETAIL
NOT TO SCALE

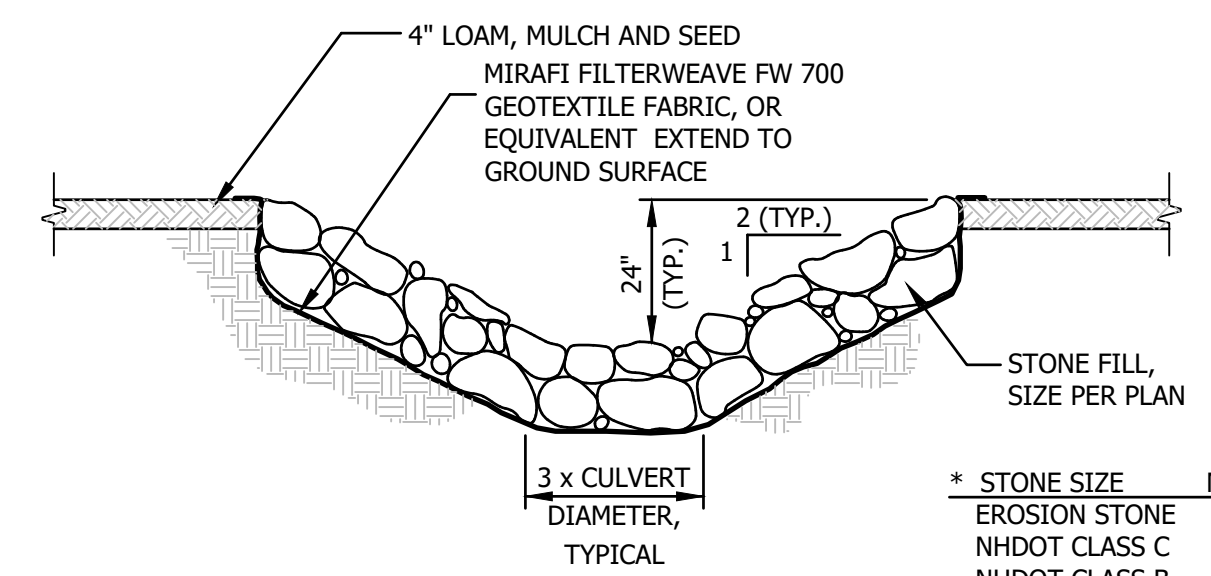


DETAIL OF SHIP LAP JOINT



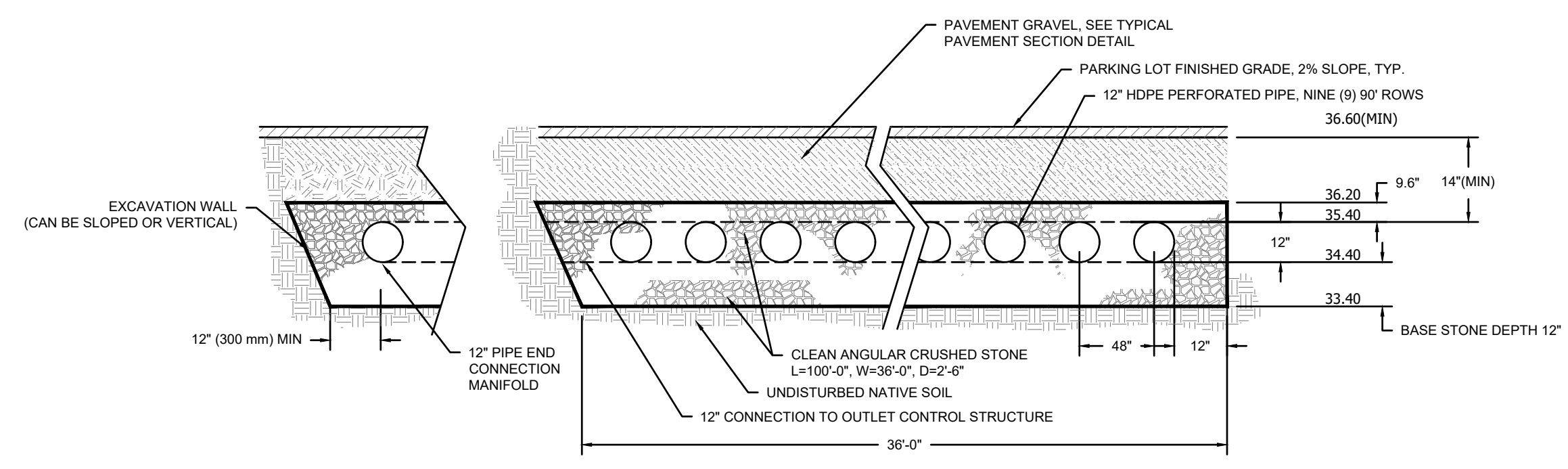
FLARED END SECTION DETAIL
NO SCALE

DIMENSIONS TABLE			
PIPE DIA. (IN.)	A (IN.)	L (IN.)	W (IN.)
12	6	20	24
15	7	26	30
18	8	30	36
24	10	40	48
30	12	50	60
36	14	60	72



STONE LINED OUTLET DETAIL
NOT TO SCALE

* STONE SIZE	MIN. D
EROSION STONE	6"
NHDOT CLASS C	12"
NHDOT CLASS B	18"
NHDOT CLASS A	30"



UNDERGROUND INFILTRATION SYSTEM
NOT TO SCALE

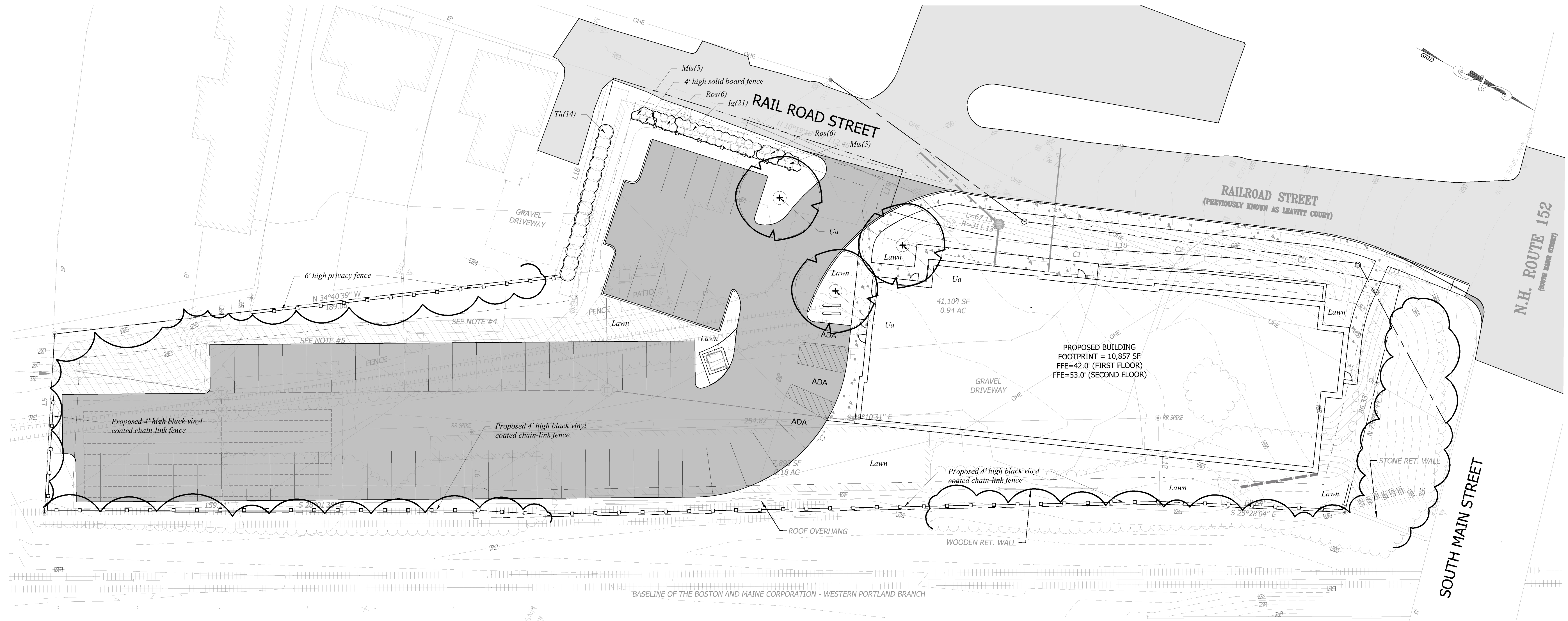
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DRAINAGE DETAILS

NO.	DATE	REVISION DESCRIPTION	ENG	DWG

DATE: 10.17.23	PROJECT #: 230750
ENG'D BY: TAL	DRAWN BY: TAL
CHECK'D BY: MJS	ARCHIVE #: H-___

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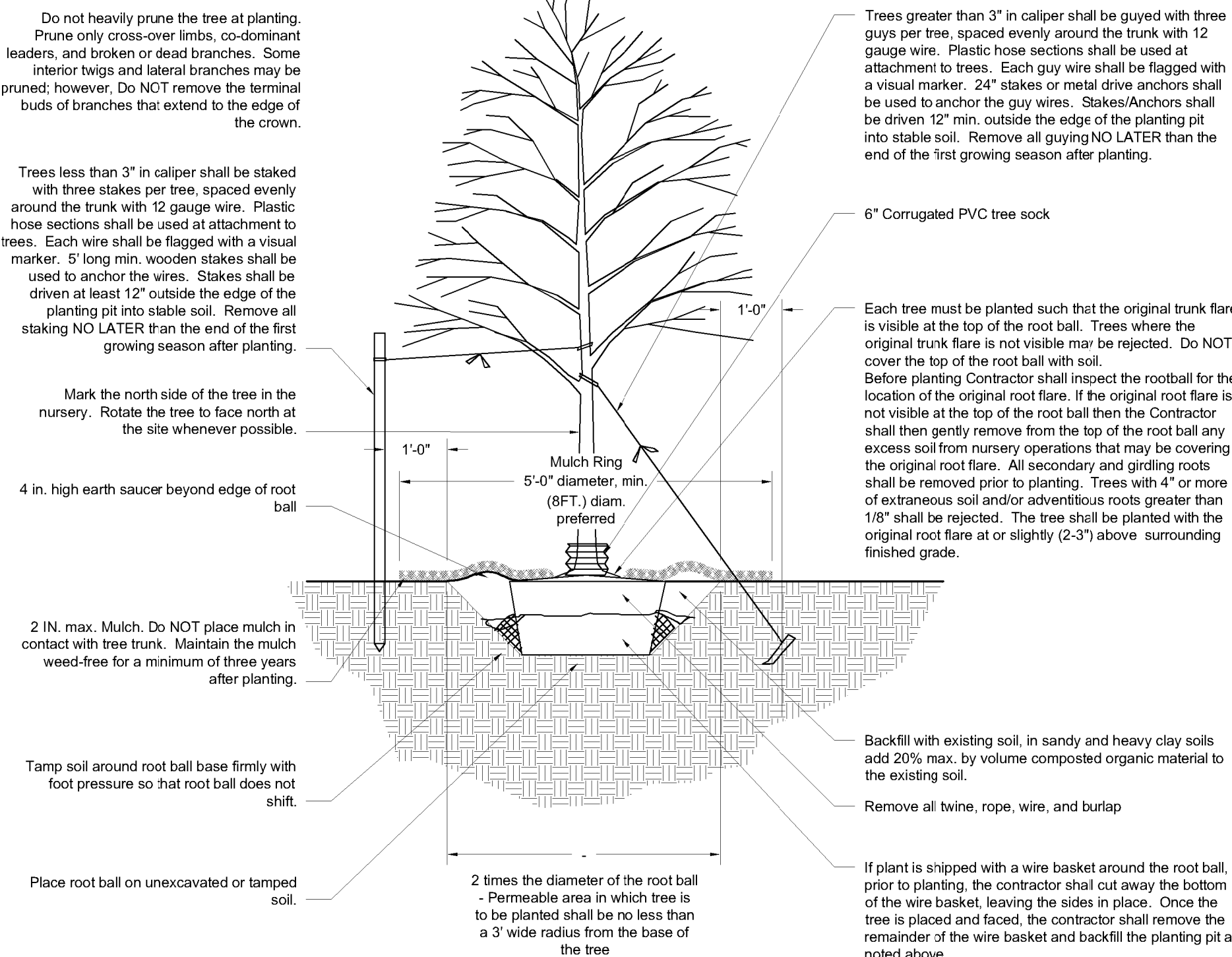


Landscape Notes

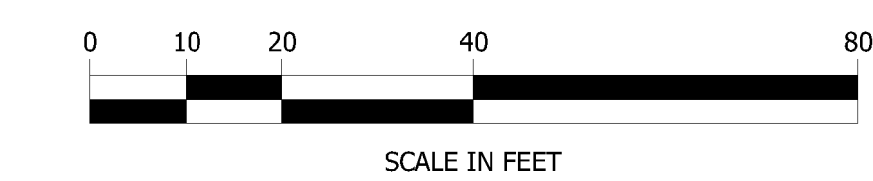
- Design is based on drawings by Horizons Engineering dated October 24, 2023 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portalets within the tree protection area.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the *American Standard of Nursery Stock*, American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- All landscaping shall be provided with either of the following
 - An underground sprinkling system
 - An outside hose attachment within 150 feet
- If an automatic irrigation system is installed, all irrigation valve boxes shall be located within planting bed areas.
- The contractor is responsible for all plant material from the time their work commences until final acceptance. This includes but is not limited to maintaining all plants in good condition, the security of the plant material once delivered to the site, and watering of plants. Plants shall be appropriately watered prior to, during and after planting. It is the contractor's responsibility to provide water from off site, should it not be available on site.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and 1/2" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
- Drip strip shall extend to 6" beyond roof overhang and shall be edged with 3/16" thick metal edger.
- In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy.
- Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- Landscape Architect is not responsible for the means and methods of the contractor.

Plant List

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
TREES					
Ua	<i>Ulmus americana 'Princeton'</i>	Princeton American Elm	3	2.3-3" Cal	B&B
SHRUBS					
Ig	<i>Ilex glabra 'Shamrock'</i>	Shamrock Inkberry	21	5 gal	full to ground
Ros	<i>Rosa Knockout</i>	Knockout Rose	12	3 gal	
Th	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Arborvitae	14	5-6' Ht	B&B
PERENNIALS, GROUNDCOVERS, VINES and ANNUALS					
Mis	<i>Miscanthus sinensis 'Morning Light'</i>	Morning Light Maiden Grass	10	1 gal	



Tree Planting Detail



FOR REVIEW
NOT FOR CONSTRUCTION

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Civil and Structural Engineering
Land Surveying and Environmental Consulting
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CONDOR CAPITAL
3 RAIL ROAD STREET
NEWMARKET, NH 03857

LANDSCAPE PLAN

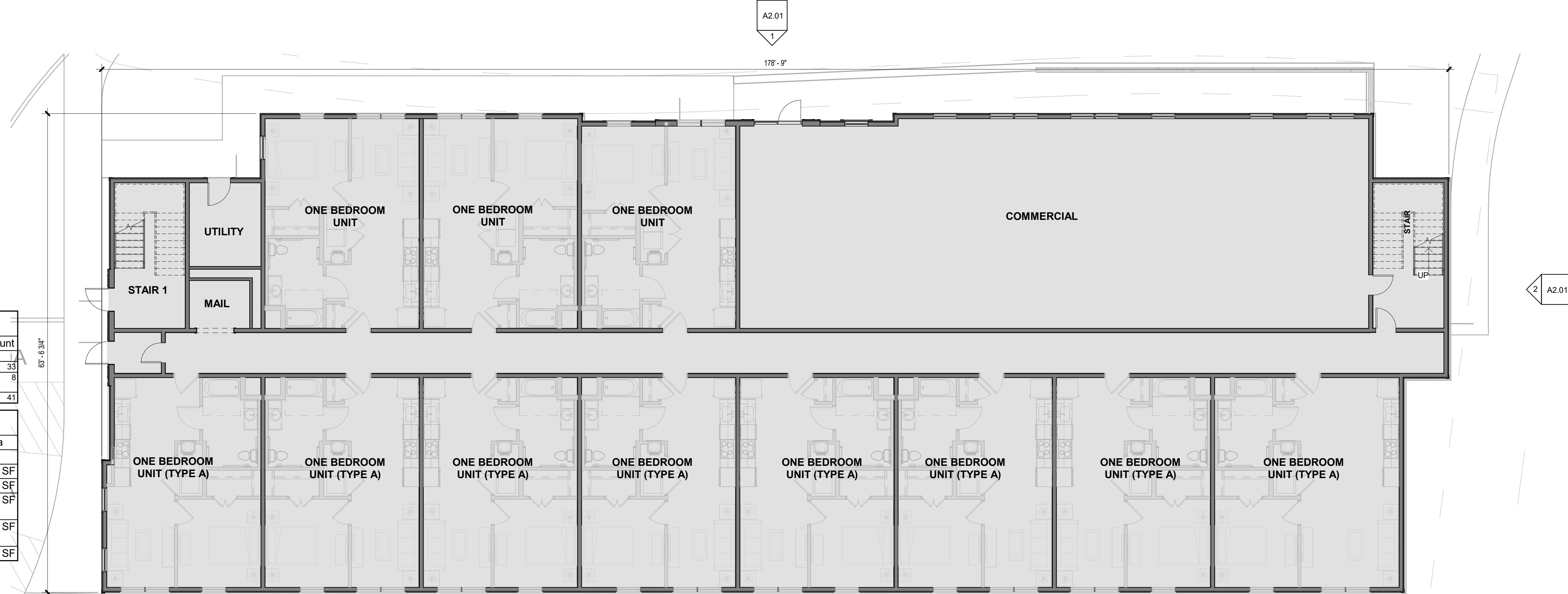
NO.	DATE	REVISION DESCRIPTION	ENG	DWG
1	1.12	Arborvitae hedge at parking lot	VM	

DATE: 10.24.23	PROJECT #: 230750
ENGINE'D BY: VM	DRAWN BY: VM
CHECK'D BY: RW	ARCHIVE #:

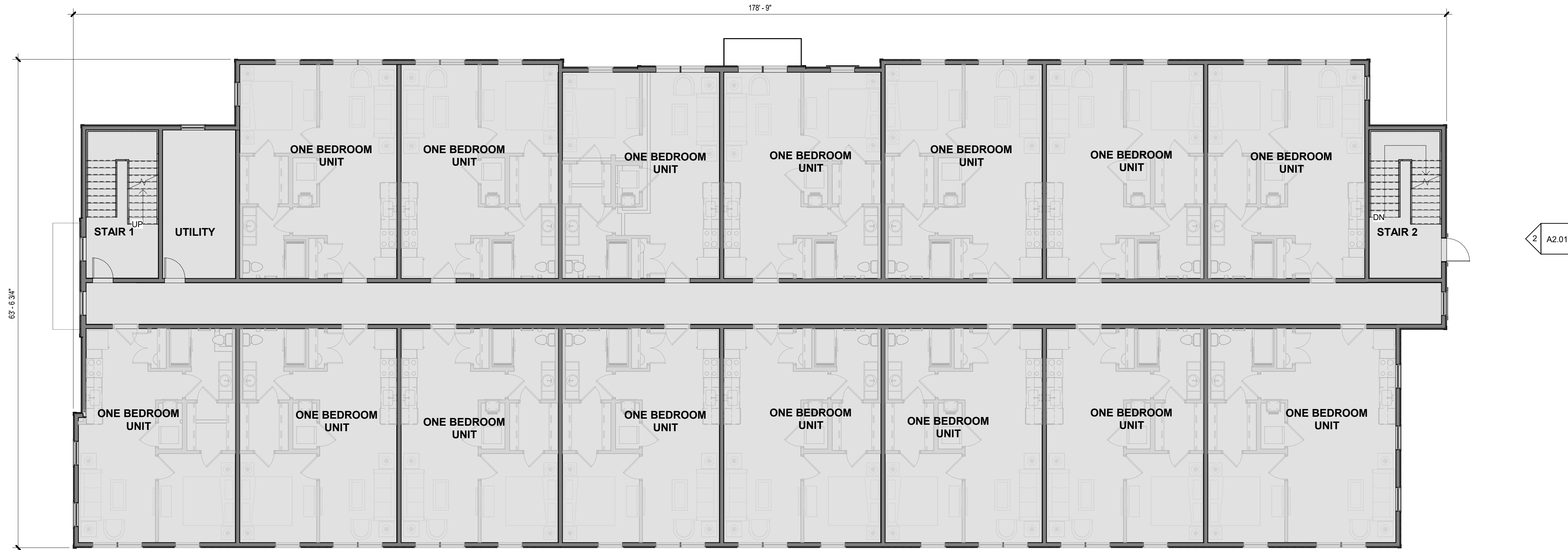
C103

UNIT SCHEDULE		
Name	Area	Count
ONE BEDROOM UNIT	547 SF ... 680 SF	33
ONE BEDROOM UNIT (TYPE A)	553 SF ... 680 SF	8
TOTAL UNIT COUNT		41

GROSS AREA SCHEDULE		
Level	Name	Area
1ST FLOOR	COMMERCIAL	2404 SF
1ST FLOOR	RESIDENTIAL	8453 SF
SECOND FLOOR	RESIDENTIAL	10857 SF
THIRD FLOOR	RESIDENTIAL	10857 SF
GRAND TOTAL		32570 SF



① OVERALL FIRST FLOOR PLAN W/ SITE
1/8" = 1'-0"



② TYPICAL SECOND + THIRD FLOOR
1/8" = 1'-0"

RAILROAD STREET MIXED-USE
RAILROAD STREET
NEWMARKET, NH

PROJECT:

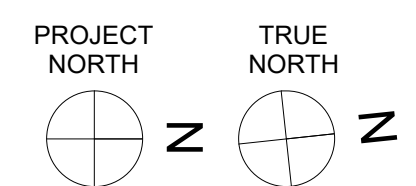
Date	Issue Description
10/24/2023	PLANNING BOARD

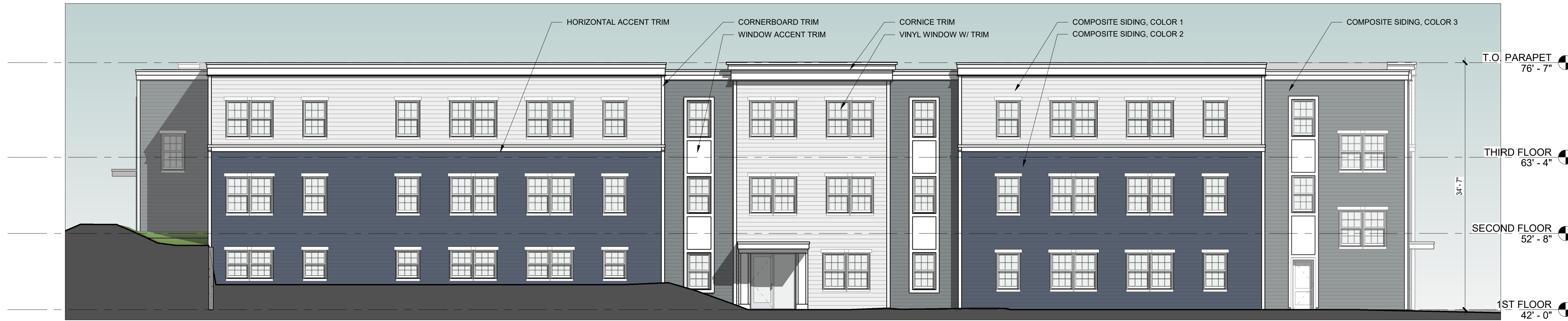
Drawn By: ANM
Project No.: 2020001

Drawing Sheet
OVERALL FLOOR PLANS

Drawing Sheet

A1.01





① WEST ELEVATION
1/8" = 1'-0"



② NORTH ELEVATION
1/8" = 1'-0"



③ SOUTH ELEVATION
1/8" = 1'-0"



④ EAST ELEVATION
1/8" = 1'-0"

RAILROAD STREET MIXED-USE
RAILROAD STREET
NEWMARKET, NH

Date	Issue Description
10/24/2023	PLANNING BOARD

Drawn By: ANM
Project No.: 2020001

Drawing Sheet
ELEVATIONS

Drawing Sheet
A2.01



RAILROAD STREET MIXED-USE
RAILROAD STREET
NEWMARKET, NH

PROJECT:

Date	Issue Description
10/24/2023	PLANNING BOARD

Drawn By: ANM
Project No.: 2020001

Drawing Sheet
PERSPECTIVES

Drawing Sheet
A8.01



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.1 fc	4.9 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.4 fc	3.8 fc	0.3 fc	12.7:1	4.7:1

Schedule													
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage	Distribution	Polar Plot	
	D	5	Juno Lighting	JPDZ4 DB 1000LM 3000K 90CRI WWH	Juno Podz 4in LED Downlight; mounted at 10ft	LED	JPDZ4_DB_1000LM_3000K_90CRI_WWH.ies	1027	0.9	13.6	DIRECT, SC-0=1.12, SC-90=1.12		
	S3	1	Lithonia Lighting	DSX0 LED P3 30K 80CRI T3M MVOLT SPA DDBXD with SSS 14 4C DM19AS DDBXD	D-Series Size 0 Area Fixture; mounted at 16ft (14ft pole on 2ft base)	LED	DSX0_LED_P3_30K_80CRI_T3M.ies	7661	0.9	68.95	TYPE IV, MEDIUM, BUG RATING: B1 - U0 - G3		
	S3-B	1	Lithonia Lighting	DSX0 LED P3 30K 80CRI BLC3 MVOLT SPA DDBXD with SSS 14 4C DM19AS DDBXD	D-Series Size 0 Area Fixture with Extreme Backlight Control; mounted at 16ft (14ft pole on 2ft base)	LED	DSX0_LED_P3_30K_80CRI_BLC3.ies	5573	0.9	68.95	TYPE III, SHORT, BUG RATING: B0 - U0 - G2		
	S4-B	3	Lithonia Lighting	DSX0 LED P3 30K 80CRI TFTM HS MVOLT SPA DDBXD with SSS 14 4C DM19AS DDBXD	D-Series Size 0 Area Fixture with Houseside Shield; mounted at 16ft (14ft pole on 2ft base)	LED	DSX0_LED_P3_30K_80CRI_TFTM_HS.ies	6566	0.9	68.95	TYPE IV, SHORT, BUG RATING: B1 - U0 - G2		
	S5	1	Lithonia Lighting	DSX0 LED P3 30K 80CRI T5M MVOLT SPA DDBXD with SSS 14 4C DM19AS DDBXD	D-Series Size 0 Area Fixture; mounted at 16ft (14ft pole on 2ft base)	LED	DSX0_LED_P3_30K_80CRI_T5M.ies	8000	0.9	68.95	TYPE VS, BUG RATING: B3 - U0 - G2		



Plan View
Scale - 1" = 30ft